



Merri-bek
City Council

COUNCIL AGENDA

PLANNING AND RELATED MATTERS

Wednesday 25 January 2023

Commencing 6.30 pm

Council Chamber, Merri-bek Civic Centre,
90 Bell Street, Coburg

Language Link

This is the Agenda for the Council meeting.
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ਇਹ ਕੌਂਸਲ ਦੀ ਮੀਟਿੰਗ ਦਾ ਏਜੰਡਾ ਹੈ।
ਏਜੰਡੇ ਦੀ ਕਿਸੇ ਆਈਟਮ ਬਾਰੇ ਮਦਦ ਲਈ,
ਕ੍ਰਿਪਾ ਕਰਕੇ 9280 0751 ਤੇ ਟੈਲੀਫੋਨ ਕਰੋ।

Acknowledgement of the traditional custodians of the City of Merri-bek

Merri-bek City Council acknowledges the Wurundjeri Woi Wurrung people as the Traditional Custodians of the lands and waterways in the area now known as Merri-bek, and pays respect to their elders past, present, and emerging, as well as to all First Nations communities who significantly contribute to the life of the area.

1. WELCOME

2. APOLOGIES/LEAVES OF ABSENCE

Cr Pavlidis is on an approved leave of absence from 19 December 2022 to 29 January 2023 inclusive.

Cr Carli Hannan requested a leave of absence from 22 January 2023 to 28 January 2023 inclusive.

3. DISCLOSURES OF CONFLICTS OF INTEREST

4. MINUTE CONFIRMATION

The minutes of the Planning and Related Matters Meeting held on 23 November 2022 be confirmed.

5. COUNCIL REPORTS

5.1 1-9 MORELAND ROAD, ESSENDON - MOONEE VALLEY 4

6. URGENT BUSINESS

5. COUNCIL REPORTS

5.1 1-9 MORELAND ROAD, ESSENDON - MOONEE VALLEY

Group Manager City Development, Phillip Priest

City Development

Executive Summary



Property:	1–9 Moreland Road, ESSENDON
Proposal:	Use and development of the land as a retirement village, reduction in car parking requirements, removal of native vegetation and alterations to access to a road in the Transport Zone 2
Zoning and Overlay/s:	<ul style="list-style-type: none">• General Residential Zone (GRZ1)• Significant Landscape Overlay, Schedule 2 (SLO2)• Development Contribution Plan Overlay (DCPO)
Responsible Authority:	Moonee Valley City Council is responsible for administering and enforcing the planning scheme for the subject site. Notice of the planning application has been given to Merri-bek City Council who may lodge any objections with Moonee Valley City Council.
Objections	16 objections have been submitted from Merri-bek residents Key issues raised include: <ul style="list-style-type: none">• Vegetation Removal• Building height and bulk• Traffic and car parking• Overshadowing• Noise, traffic and pollution from construction
Community consultation meeting	Moonee Valley Council officer has advised that the Merri-bek residents who objected will be invited to a Community Consultation Meeting which has been scheduled for 1 February 2023.
Key reasons for support:	<ul style="list-style-type: none">• The development height and form is supportable as higher buildings are located centrally to the site with the visual impact of buildings located along the Moonee Ponds Creek, able to be mitigated by building setbacks and landscaping• The building height and siting does not seek to vary any planning controls for the site.• Sufficient setbacks and spacing provided between buildings from the creek providing an adequate landscaped buffer.
Recommendation:	No objection to the proposal from Merri-bek City Council.

Officer Recommendation

That Council writes to Moonee Valley City Council advising that no objection is offered to the planning application. The letter should recommend that should the Moonee Valley City Council determine to grant a planning permit for the proposed use and development the following matters be considered for inclusion as requirement of any planning permit:

1. The need to ensure that landscaping plans support the intent of the concept plans to ensure protection and improvements to the creek corridor through the submission of:
 - a) A detailed Landscape Plan that contains the following:
 - i. Species locations and numbers
 - ii. Detailed automatic irrigation plan for all garden beds and lawn areas including location of water source and controller
 - iii. Landscape and irrigation maintenance plan to the satisfaction of the Responsible Authority
 - b) A Tree Management Plan in line with AS4970 to ensure protection of, and retention of, all High Value trees on the development site and protection of all trees along the creek corridor to the satisfaction of the Responsible Authority.

1. Background

Subject site

The subject site forms part of the Lionsville Site located at 1-9 Moreland Road and 262–270 Pascoe Vale Road, Essendon. This application specifically relates to 1-9 Moreland Road which is on the south-western corner of Moreland and Pascoe Vale Roads. It is made up of multiple lots, with a total area of 1.83 hectares. It is irregular in shape, with vehicle access to Moreland and Pascoe Vale Roads. The land is sloped, with a fall from west to east, towards the Moonee Ponds Creek

The site is currently vacant, following demolition works which occurred in late 2022.

The subject site is approximately 22 metres from the municipal boundary with Merri-bek City Council.

The land was previously owned by the Metropolitan Board of Works (MMBW), the City of Essendon, Melbourne Water (Victorian State Government). The land was transferred to Lionsville, with the last transfer occurring in 2021. Lionsville has recently sold the land to Ryman Healthcare in 2021.

Surrounds

The surrounding area is characterised by predominantly residential development, with the exception of the Moonee Ponds Creek and associated parkland to the north-east and east of the site.

Directly to the north is 262-270 Pascoe Vale Road, which is developed with a 6 storey building used for a retirement village identified as 'Essendon Terrace'. This development occurred as Stage 1 of the redevelopment of the broader Lionsville site, as discussed below.

Along Pascoe Vale Road to the west and Moreland Road to the south, are detached single dwellings, located within the General Residential Zone.

The site is serviced by Glenbervie and Essendon Railway Stations, both under a kilometre away.

A location plan forms **Attachment 1**.

Planning Permit and site history

- The site has previously operated as a retirement village, owned by the Lions Club.
- A masterplan to guide the future development of the site has been endorsed by the Moonee Valley City Council under Planning Permit MV/21230/2010. The masterplan approved the general arrangement of buildings on the site, typically within three and four storeys, to be used for independent living apartments including a Day Care Facility and Community Centre. The buildings were to be constructed in three stages.
- Planning Permit MV/21230/2010 permits the construction of two buildings which represents Stage 1 of the masterplan; the recently constructed 'Essendon Terrace' building (6 storeys) on the northern part of the broader Lionsville site, and another retirement living building (5 storeys) situated at the corner of Moreland and Pascoe Vale Roads, which has not commenced construction.
- The planning permit was recently extended and is valid.

- The current application proposes new developments at the corner of Moreland and Pascoe Vale Roads (similar in scale to the permitted buildings) and on the remainder of the site to the east (Stages 2 and 3 of the masterplan). The applicant has confirmed that they would be lodging an amendment to Planning Permit MV/21230/2010 to ensure that the built form proposed under this current application for the building on the corner of Moreland and Pascoe Vale Roads is reflected in the existing permit.

The proposal

Use

- Residential Aged Care facility with 60 beds.
- Retirement Village, with 162 Independent Living Units and 50 Assisted Living Suites.
- Shared communal facilities for residents of both facilities, bowling green, gym, pool, dining, lounge, theatre, games room, library and café within the central complex

Built form

- Seven buildings, ranging from four to six storeys.
- Site coverage: 59.54 per cent
- Permeability: 28.55 per cent
- Maximum building height: 20.60 metres

Car and bicycle parking

- 260 spaces provided in basement levels and at-grade.
- 12 bicycle spaces provided in basement for staff.

The development plans form **Attachment 3**, and the landscape plans form **Attachment 4**.

Statutory Controls – why is a planning permit required?

Control	Permit Requirement
General Residential Zone	<ul style="list-style-type: none"> • A permit is required for the use of the land for a retirement village • A permit is not required for the use of the land for residential aged care. • A permit is required for the buildings and works associated with a retirement village and residential aged care.
Significant Landscape Overlay, Schedule 2 (SLO2)	<ul style="list-style-type: none"> • A permit is not required to construct a building that is sited more than 30 metres from the bank of the Moonee Ponds Creek. • A permit is required to remove native vegetation.
Particular Provisions	<ul style="list-style-type: none"> • A permit is required to reduce the car parking requirement from 264 to 260 spaces. • A permit is required to remove Native Vegetation • A permit is required to alter access to a Road in a Transport Zone 2.

Planning controls map form **Attachment 2**.

2. Internal/ External Consultation

Public notification

Notification of the application has been undertaken by Moonee Valley City Council, pursuant to Section 52 of the *Planning and Environment Act 1987*. As part of this notice process:

- Merri-bek City Council was notified as a neighbouring Council.
- Approximately 75 properties within Merri-bek were notified.

At the time of writing this report, a Moonee Valley Council officer advised that the application has received 16 objections from Merri-bek residents raising the following key issues:

- Vegetation removal
- Building height and bulk
- Traffic and car parking
- Overshadowing
- Noise, traffic and pollution from construction

Moonee Valley Council officer has advised that the Merri-bek residents who objected will be invited to a Community Consultation Meeting which has been scheduled for 1 February 2023.

External referrals

Pursuant to Clause 52.29-4, the application is required to be referred to Department of Transport. Moonee Valley City Council officer has advised that the application has been referred and they are waiting for comments.

Internal referrals

The proposal was referred to the following internal branches/business units:

Internal Branch/Business Unit	Comments
Open Space	Supports the proposal and submitted landscaping plans.
Development Engineering	Supports the reduction in car parking, access and traffic movement.

3. Policy Background

Moonee Valley Planning Policy Framework (PPF):

- Clause 12 – Environmental and Landscape Values
- Clause 12.03 – Water bodies and wetlands
- Clause 14.02 - Water
- Clause 15.01 – Built Environment
- Clause 19.03-3L – Integrated Water Management
- Clause 19.03-3L – Water Sensitive Urban Design
- Clause 52.06 – Car parking
- Clause 52.17 – Native Vegetation
- Clause 52.29 – Land Adjacent to a Principal Road Network
- Clause 53.17 – Residential Aged Care Facility

Moonee Valley Incorporated Documents

- Moonee Ponds Creek Concept Plan
- Moonee Ponds Creek Strategic Plan (Land Design Partnership Pty Ltd, Urban Enterprise Pty Ltd and Golder Associates Pty Ltd, 2011)

Amendment VC201

Amendment VC201 was gazetted into the Moonee Valley Planning Scheme on 16 December 2022 and aims to improve waterway health, amenity and access while acknowledging the important community and cultural values associated with waterways. The amendment updates the State Policy at Clause 12.03 (Water bodies and wetlands) by providing further guidance for the protection of all Victorian waterways. The amendment also introduces an interim Significance Landscape Overlay (SLO) over the Moonee Ponds Creek to acknowledge, protect and enhance the waterway. This interim overlay is in place until 31 December 2026.

Aboriginal Heritage

The *Aboriginal Heritage Act 2006* and *Aboriginal Heritage Regulations 2018* provide for the protection of Aboriginal places, objects and human remains in Victoria.

A Cultural Heritage Management Plan (CHMP) is required for the application, and Moonee Valley Council planning officers have advised that this information has been requested and will be provided prior to a decision being issued.

Human Rights Consideration

This application is being reviewed in consideration of the requirements of the *Planning and Environment Act 1987* (including the Moonee Valley Planning Scheme) reviewed by the State Government and which complies with the *Victorian Charter of Human Rights and Responsibilities Act 2006, including Section 18 (Taking part in public life)*.

This officer review has had particular regard to:

- Section 13: Privacy and Reputation
- Section 20: Property rights

The privacy of nearby residents will need to be considered as part of the application process.

4. Issues

As outlined above, Council has been notified of this planning application which is within the Moonee Valley City Council municipality. The key matters for Council to consider in determining whether to object or not object to the application is the impacts the proposed development will have on the Moonee Ponds Creek and the City of Merri-bek. In considering the application regard has been given to the Moonee Valley Planning Scheme, objections received from Merri-bek residents and the merits of the application

Does the proposal have an acceptable height and interface with the City of Merri-Bek having regards to height, bulk and design?

Height and visual bulk

The nesting diagram at Clause 73.04 of the Planning Scheme does not include Residential Aged Care or Retirement Village within a 'Residential Buildings'. Therefore, the mandatory building height requirement of 11 metres and 3 storeys in the General Residential Zone which applies to the construction of dwellings and residential buildings is not applicable to the proposal.

The Particular Provision at Clause 53.17 (Residential Aged Care Facility) of the Planning Scheme outlines specific requirements which relates to facilitating and developing well-design residential aged care facilities. The Clause sets a maximum building height of 16 metres for a Residential Aged Care Facility. The proposed aged care component of the developments meets this maximum height limit. There are no other built form or building height controls in the Moonee Valley Planning Scheme for a 'Retirement Village'.

The subject site is located 20 metres west of Moonee Ponds Creek, and interfaces with the creek and parkland to the east and north of the site. The Moonee Ponds Creek is protected with the Significant Landscape Overlay (SLO2). An objective of the SLO2 is to ensure buildings and works are not visually dominant when viewed from the waterway corridor.

Having considered the overall site context, the current masterplan, and the site's area of 1.8 hectares, it is considered that the proposed height of 4 to 6 storeys is appropriate and will not be visually dominant when viewed from its surrounds.

The six storey buildings proposed are contained centrally within the site, and all buildings abutting the creek and Moreland Road are four storeys. The proposed location of the four storey buildings is consistent with the current masterplan which approved buildings at 4 storeys height adjacent to the creek and Moreland Road.

Although the built form is higher than the surrounds, which is predominantly double-storey, the development provides a transition from the two-storey built form by utilising significant setbacks along the frontage to Moreland Road and from the Moonee Ponds Creek to the east. The front setback to Moreland Road in the eastern part of the site (the closest point to Merri-bek) is 26 metres, and the setback ranges from 13 - 18 metres from the eastern boundary noting that this is greater than the setback shown on the approved masterplan which ranges from 3.9 – 6.9 metres. The proposed development is an improvement from the current masterplan as it proposes buildings of similar scale along the creek but with greater setbacks. In addition, the 13 – 18 meters setback from the eastern boundary ensures that the overall buffer between the built form and Moonee Ponds creek is 30 metres or more therefore, providing a site sensitive response.

The buildings have been adequately sited with sufficient setbacks that ensures that there are large spaces between the buildings, allowing for views directly through the site to the parkland to the north of the site.

Additionally, there are trees proposed along Moreland Road and the eastern boundary which have mature heights ranging from 6 to 15 metres. These new trees together with the existing trees which will be retained will ensure that significant screening is provided from the creek to mitigate any visual bulk impacts.

Site coverage

Clause 53.17 (Residential Aged Care Facility) sets out the development requirements that a residential aged care facility is required to meet in the General Residential Zone. Although this only applies to the aged care facility component, this can be used as a guide to assess the proposal. With regards to site coverage, Clause 53.17 outlines that site area covered by buildings should not exceed 80 per cent. The proposed site coverage is 59 per cent which is well below the requirements. Moreover, the development sits within a heavy landscape setting which assists with breaking up the built form and reducing the proposed massing and the bulk on site.

Building materials, design and details

The proposed materials and finishes which are a mix of brick, render and stone are of high quality. The colours are in grey and brown therefore ensuring that the buildings have a muted appearance. This will allow the green planting/landscaping to be the more striking characteristic of the development. The contrast in colours, textures and materials also assist with creating architectural interest in the building which breaks up the appearance and scale of the buildings.

Does the proposal adequately respond to the Moonee Ponds creek and environs?

The Moonee Ponds Creek is one of the most significant and valued river corridors in the west. While the west side of the creek is protected by the Significant Landscape Overlay (SLO2), the Merri-bek side of the creek to the east is protected by the Environmental Significance Overlay (ESO2). An objective of both these overlays is to enhance water quality.

The health of the Moonee Ponds Creek is therefore a key consideration. The water quality of the creek should not be undermined by development along the creek. The proposal seeks to protect the water quality by ensuring that all impervious surfaces are captured and treated, and that all hardstand run-off is collected into raingardens ensuring that there is no untreated water directed into the creek. A Water Sensitive Urban Design (WSUD) response has been submitted demonstrating this. The proposal minimises the amount of hardstand paving in general, and utilises a significant amount of permeable and landscaped surfaces, which improves water-run off quality. This complies with the integrated water management policy at Clause 19.03-3L of the Moonee Valley Planning Scheme.

An adequate buffer has been provided through siting the proposed buildings more than 30 metres from the bank of the creek. The submitted landscaping plan also shows exclusively indigenous plant selection, with a planting density of 4m² along this section of the site. This also ensures a dense buffer of plants is provided which is suited to the creek, its aesthetics and the ecosystem.

Overshadowing diagrams prepared at the September equinox has been submitted which shows that the extent of the shadow cast by the proposal will be limited to the site itself. It is only at 3pm when there will be minimal shadows extending into the reserve to the east. This is not considered to be detrimental to the overall useability and amenity of the reserve and the creek.

Is the extent of vegetation removal acceptable?

The proposed development requires the removal of 38 trees from the subject site. Of these, two require a planning permit under Clause 52.17 (Native Vegetation Removal) of the Moonee Valley Planning Scheme. This means that all other trees do not require a planning permit for removal. Furthermore, the application does not require an assessment under the standards and objectives of Clause 55 including Standard B13 (Landscaping) as the application does not relate to a dwelling or residential building.

The application proposes to retain 8 trees on-site, as well as implementing tree protection zones along the boundaries to protect the trees off-site and around the creek. Those trees which are shown to be removed but did not require a planning permits have already been removed on site.

The two trees requiring a planning permit under Clause 52.17 (Native Vegetation Removal) are Tree 32 (Black Sheoak) and Tree 36 (Silver Wattle). There are other trees on site which are native, but have characteristics that suggest they are planted.

Although there are high number of trees being removed from the site, under the current approved masterplan, these trees were ultimately to be removed. Furthermore, the application proposes a significant amount of new planting as shown in the advertised landscape plan. The landscape plan proposes planting from the Riparian Woodland Ecological Vegetation Classes including trees, shrubs and grasses along the outline of the site, to provide a buffer along with the existing remnant vegetation from the Moonee Ponds Creek. The rest of the site would have a heavily native influenced selection of trees, with some exotic trees. The inclusion of exotic trees is a functional decision, as it allows more trees to be planted in close proximity to built form, plumbing and pedestrian areas.

There will be more trees on the site under the proposed landscape plan than that have been on the site previously. In particular, the dense indigenous planting along the outline of the site and within the buffer did not exist previously; parts of this area was previously paved. The redevelopment of this site increases the quantity and quality of vegetation proximate to the creek. This supports the objectives of the SLO2 which encourages retention of riparian vegetation and revegetation to ensure that it is a dominant landscape feature of the river corridor.

Having considered the increased landscaping/ planting on the site, the removal of the two native trees can be justified. The application has been accompanied with a Biodiversity Assessment report which outlines that if a permit is granted for the removal of the native vegetation, a native vegetation offset must be obtained from the relevant vicinity before the native vegetation is removed, to compensate for the removal of biodiversity. This is typically achieved through planning permit conditions should a permit be granted.

Council's Open Space Unit has reviewed the application and is satisfied with the proposal, which acknowledges that the submitted landscaping plan is a sensitive response to the SLO2 and the Moonee Ponds Creek. As part of Council's response to Moonee Valley City Council, a suggestion will be to impose conditions, should a planning permit be issued, requiring detailed landscaping plan and tree protection/management plans that support the intent of the proposal to protect and improve the vegetation along the river corridor.

Are the parking provision and traffic impacts acceptable?

Pursuant to Clause 52.06-5 of the Planning Scheme, the proposal has a statutory requirement to provide 264 car spaces. The proposal provides for 260 car spaces and therefore seeks approval for the reduction by 4 spaces.

Council's Development Engineering officer has reviewed the application including the submitted traffic report and is satisfied that the proposed reduction of 4 spaces can be supported as:

- The shortfall is minimal.
- The site is located in close proximity to public transport routes.
- The total number of car parking spaces provided exceeds the typical demand of car parking spaces anticipated by households in Essendon as per the Australian Bureau of Statistics 2021 data.
- 12 staff bicycle spaces have been provided although there is no statutory requirement to provide bicycle parking for the application.

Council's Development Engineer officer is also satisfied with the proposed access arrangements and considers that the level of traffic generated by the proposal will be modest and can be accommodated in Moreland and Pascoe Vale Roads without any detrimental impact.

5. Response to Objector Concerns

The following issues raised by objectors are addressed in section 4 of this report:

- Vegetation removal
- Building height and bulk
- Traffic and car parking
- Overshadowing

The issue raised by objector relating to noise, traffic and pollution from construction is addressed below:

Construction issues

Discussions with Moonee Valley Council officers confirms that there will be a requirement to submit a Construction Management Plan which will be reviewed and assessed by Moonee Valley Council's Development Engineering Department. Additionally, the Environment Protection Authority (EPA) provide guidelines and regulations that specify times for construction, to limit noise impacts.

6. Officer Declaration of Conflict of Interest

Council Officers involved in the preparation of this report do not have a conflict of interest in this matter.

7. Financial and Resources Implications

There are no financial or resource implications.

8. Conclusion

In summary, the proposal provides for uses that will serve the needs of the local community and an ageing community. The use and development is in keeping with the planning policy, and the buildings do not seek to vary any building height or setback requirements of the Moonee Valley Planning Scheme. The assessment has found that subject to the inclusion of appropriate planning permit conditions the proposal will not be detrimental to the significance and aesthetics of the Moonee Ponds Creek corridor. In addition, the development sits within a heavily landscaped setting that can be further improved and assists with reducing the visual impacts while ensuring that the landscaping remains a dominant feature of the site and creek corridor. For these reasons it is recommended that, Council writes to Moonee Valley City Council to advise that it has no objection to the planning application while suggesting the consideration of inclusion of appropriate conditions in respect to resolution of landscaping should the Moonee Valley City Council determine that a planning permit should be issued.

Attachment/s

1	Location Plan - 1-9 Moreland Road, Essendon	D23/6889
2	Planning Controls Map - 1-9 Moreland Road, Essendon	D23/6891
3	Plans - 1-9 Moreland Road, Essendon	D23/32
4	Landscape Plan - 1-9 Moreland Road, Essendon	D23/10243

Location plan



The site is approximately 20 metres west of the Moonee Ponds Creek, the municipal boundary between Moonee Valley and Merri-bek



The development will be visible from Moreland Road, in Merri-bek

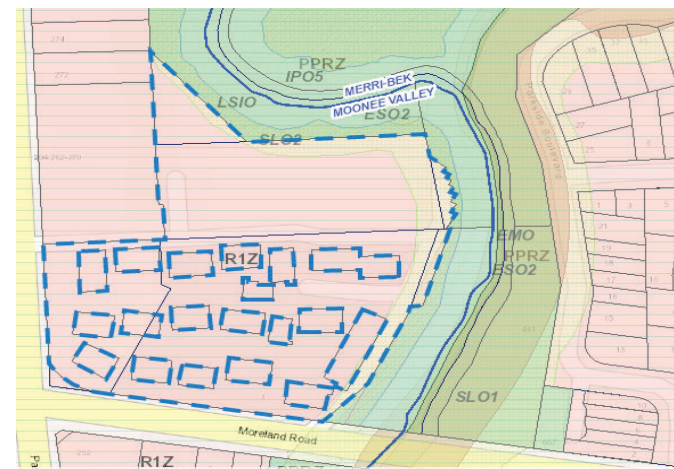




General Residential Zone (GRZ1)



Significant Landscape Overlay (SLO2)



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ESSENDON RESIDENTIAL AGED CARE FACILITY & RETIREMENT VILLAGE

1 MORELAND ROAD, ESSENDON VIC 3040

| PLANNING APPLICATION |

NOVEMBER 2022



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CONTENTS PAGE

Drawing Number	Sheet Name	Drawing Number	Sheet Name	SITE INFORMATION
A00	COVER	A32	B01A / B01B - LEVEL 1 FLOOR PLAN	ADDRESS: 1-3 Moreland Road, Essendon, Victoria
A01	CONTENTS PAGE	A33	B01A / B01B - LEVEL 2 FLOOR PLAN	TOTAL SITE AREA: 22.087sqm
A02	VICINITY MAP	A34	B01A / B01B - LEVEL 3 FLOOR PLAN	TOTAL DEVELOPABLE LAND IN THIS DEVELOPMENT: 18,523.99sqm
A03	LOCATION PLAN	A35	B01A / B01B - LEVEL 4 FLOOR PLAN	Titles:
A04	SITE ANALYSIS DIAGRAM	A36	B01A / B01B - LEVEL 5 FLOOR PLAN	11084/164
A05	EXISTING CONDITIONS (TREE TPZ AND SITE)	A37	B01A / B01B - LEVEL 6 FLOOR PLAN	11084/172
A06	DESIGN RATIONALE - SITE	A38	B01A / B01B - ROOF PLAN	11085/788
A07	SITE MASTER PLAN	A39	B01C / B01D - LOWER GROUND FLOOR PLAN	11375/083
A08	ARTIST IMPRESSION	A40	B01C / B01D - GROUND FLOOR PLAN	
A08/VS	VISUAL SIMULATIONS	A41	B01C / B01D - LEVEL 1 FLOOR PLAN	
A09	BASEMENT FLOOR PLAN	A42	B01C / B01D - LEVEL 2 FLOOR PLAN	
A10	LOWER GROUND FLOOR PLAN	A43	B01C / B01D - LEVEL 3 FLOOR PLAN	
A11	GROUND FLOOR PLAN	A44	B01C / B01D - LEVEL 4 FLOOR PLAN	
A12	LEVEL 1 FLOOR PLAN	A45	B01C / B01D - ROOF PLAN	
A13	LEVEL 2 FLOOR PLAN	A46	B01A - ELEVATIONS	
A14	LEVEL 3 FLOOR PLAN	A47	B01B - ELEVATIONS	
A15	LEVEL 4 FLOOR PLAN	A48	B01C / B01D - ELEVATIONS	
A16	LEVEL 5 FLOOR PLAN	A49	B01C / B01D - ELEVATIONS	
A17	LEVEL 6 FLOOR PLAN	A50	ELEVATION DETAIL - ALS & CARE TYPICAL	
A18	CONSTRUCTION STAGING/HANDOVER PLAN	A51	B02 BASEMENT FLOOR PLAN	
A19	SCHEME COMPARISON - PREVIOUS APPLICATION	A52	B02 LOWER GROUND FLOOR PLAN	
A20	SITE FENCING PLAN	A53	B02 GROUND FLOOR PLAN	
A21	SITE ENTRY AND SERVICES	A54	B02 LEVEL 1 FLOOR PLAN	
A22	EXTERNAL FINISHES SCHEDULE	A55	B02 LEVEL 2 FLOOR PLAN	
A23	SITE ELEVATIONS	A56	B02 LEVEL 3 FLOOR PLAN	
A24	SITE ELEVATIONS	A57	B02 ROOF PLAN	
A25	SITE ELEVATIONS	A58	B02 ELEVATIONS	
A26	SITE ELEVATIONS	A59	B02 ELEVATIONS	
A27	SITE SECTIONS	A60	ELEVATION DETAIL - APARTMENTS	
A28	SITE SECTIONS	A61	SCHEDULES	
A29	SITE SECTIONS	A62	TYPICAL LAYOUTS	
A30	SITE SECTIONS	A63	TYPICAL LAYOUTS	
A31	B01A / B01B - GROUND FLOOR PLAN	A64	SHADOW STUDY - SEP 22	



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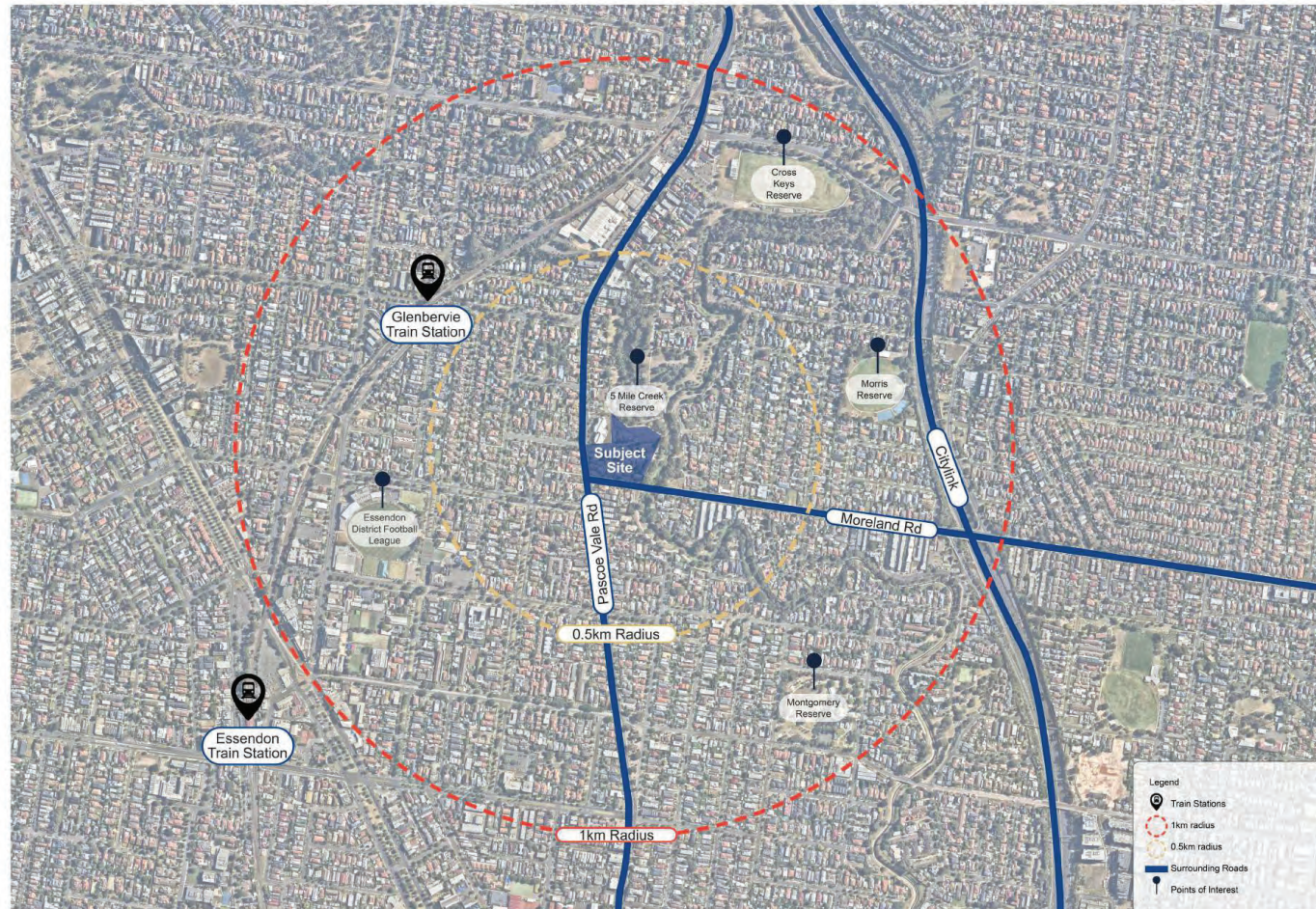
VICINITY MAP



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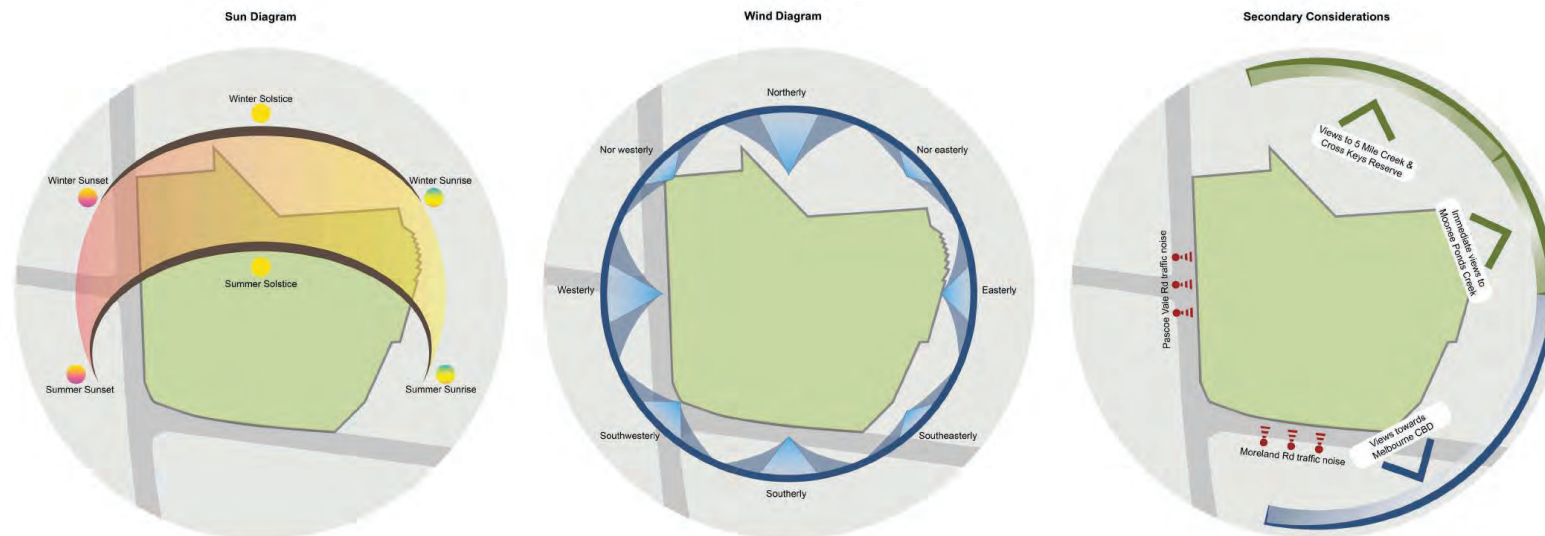
LOCATION PLAN



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SITE ANALYSIS DIAGRAM



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EXISTING CONDITIONS (TREE TPZ AND SITE)



PLANNING APPLICATION

AMENDMENTS:
1 14/04/22 PLANNING APPLICATION
2 04/11/22 RFI RESPONSE

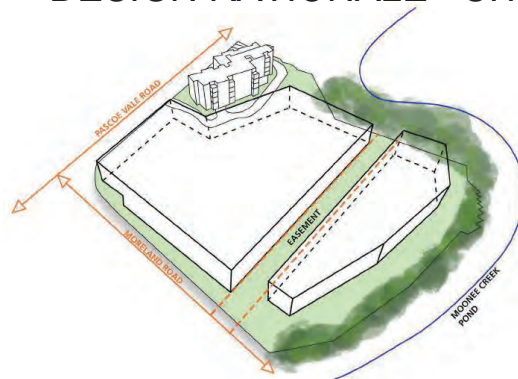
AMENDMENT: 2
SCALE:
SHEET: A0-012

A05

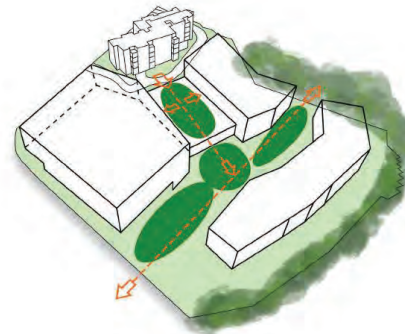
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DESIGN RATIONALE - SITE



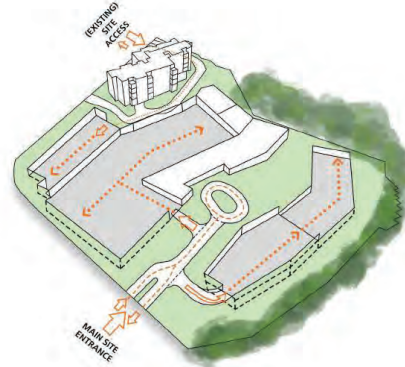
1. SITE BOUNDED BY MORELAND & PASCOE VALE ROADS TO THE SOUTH AND WEST, FIVE MILE CREEK TO THE NORTH & MOONEE POND CREEK TO THE EAST
SERVICES EASEMENT BISECTS THE SITE ON A NORTH/ SOUTH AXIS
BUILDING HEIGHTS TO BE APPROPRIATE TO THEIR CONTEXT
STEEP SLOPING TOPOGRAPHY FROM PASCOE VALE ROAD TOWARDS MOONEE POND CREEK
ESSENDON TERRACE APARTMENT BUILDING TO BE RETAINED & INTEGRATED INTO THE WIDER VILLAGE DEVELOPMENT



2. CREATE A GREEN SANCTUARY IN THE HEART OF THE SITE
MINIMISE HARDSCAPE WITHIN SITE
USE EASEMENT ROUTE AS A LANDSCAPED CORRIDOR FOR MAIN SITE ORIENTATION AND MOVEMENT
PROVIDE A CARE AND ALS PRESENCE TO THE CORNER OF PASCOE VALE AND MORELAND ROADS
INDEPENDENT LIVING UNITS TO WRAP AROUND THE RESERVE EDGE & CAPITALISE ON VIEWS



3. CREATE A VARIETY OF LANDSCAPED SPACES THROUGHOUT THE SITE, WITH DIFFERENT CHARACTER
- GREEN CORRIDOR
- VILLAGE PLAZA
- INTIMATE COURTYARD
- ROOF TERRACES
- NATIVE BUSH
BUILDING FORMS ORIENTED IN A NORTH - SOUTH AXIS TO MAXIMISE SUN PATH TO PUBLIC SPACES
MAXIMISE VIEWS/ AND CONNECTIONS TO IMMEDIATE RESERVE AND FURTHER CBD
MAINTAIN, WHERE PRACTICAL, VIEWS FROM ESSENDON TERRACE



4. MAIN VILLAGE ENTRANCE TO BE LOCATED OFF MORELAND ROAD
MINIMISE SURFACE ROADING THROUGHOUT SITE
VEHICLE ACCESS POINTS TO BUILDINGS AS CLOSE AS POSSIBLE TO MORELAND ROAD
BASEMENT CAR PARKING TO BE SLEEVED BY ACCOMMODATION
UTILISE EXISTING SITE ACCESS FROM PASCOE VALE ROAD FOR ESSENDON TERRACES AND SERVICE/ STAFF



5. OVERALL BUILDING FORMS ARTICULATED AS SMALLER ELEMENTS & FRONTAGES. ORGANIC BUILDING LINES TO CREEK INTERFACES. BREAKING DOWN BUILT FORM, INTENDED TO READ AS A SERIES OF TERRACE HOUSES
PALETTE: NATURAL TONES, INTENDED TO RECESSIVE BEHIND LANDSCAPE PARTICULARLY WHEN VIEWED FROM NORTH & EAST
SCULPTED ROOF FORMS TO ACTIVATE THE ROOFSCAPE AND SETBACK TO REDUCE VISUAL IMPACT
UTILISE OVERLOOKED ROOFS OF VILLAGE CENTRE AS LANDSCAPED TERRACES
CREATE A PEDESTRIAN COLONNADE FROM MORELAND ROAD TO VILLAGE CENTRE
CREATE LOGICAL & FUNCTIONAL LINKS WITH THE EXISTING ESSENDON TERRACES BUILDING



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ARTIST IMPRESSION



PLANNING APPLICATION

AMENDMENTS:
1 04/11/22 RFI RESPONSEAMENDMENT: 1
SCALE:
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A08

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**ESSENDON RESIDENTIAL AGED CARE
FACILITY & RETIREMENT VILLAGE**

1 Moreland Rd, Essendon, Vic, 3040, AUS

Visual Simulations

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CONTENTS PAGE

VIEW LOCATION MAP

PASCOE VALE RD

VP01

EXISTING VIEW

VP01

OVERLAID VIEW

VP01

PROPOSED VIEW

MORELAND RD

VP04

EXISTING VIEW

VP04

OVERLAID VIEW

VP04

PROPOSED VIEW

MOONEE PONDS CREEK TRAIL

VP02

EXISTING VIEW

VP02

OVERLAID VIEW

VP02

PROPOSED VIEW

PASCOE VALE RD & MORELAND RD INTERSECTION

VP05

EXISTING VIEW

VP05

OVERLAID VIEW

VP05

PROPOSED VIEW

PARKSIDE BLVD

VP03

EXISTING VIEW

VP03

OVERLAID VIEW

VP03

PROPOSED VIEW

KIORA ST

VP06

EXISTING VIEW

VP06

OVERLAID VIEW

VP06

PROPOSED VIEW



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VIEW LOCATION MAP

A08-VP00 |
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EXISTING VIEW - PASCOE VALE RD



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OVERLAID VIEW - PASCOE VALE RD

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PROPOSED VIEW - PASCOE VALE RD



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EXISTING VIEW - MOONEE PONDS CREEK TRAIL

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OVERLAID VIEW - MOONEE PONDS CREEK TRAIL

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PROPOSED VIEW - MOONEE PONDS CREEK TRAIL

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EXISTING VIEW - PARKSIDE BLVD

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OVERLAID VIEW - PARKSIDE BLVD

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PROPOSED VIEW - PARKSIDE BLVD



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EXISTING VIEW - PASCOE VALE RD & MORELAND RD INTERSECTION

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EXISTING VIEW - KIORA ST

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OVERLAID VIEW - KIORA ST

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PROPOSED VIEW - KIORA ST



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SITE MASTER PLAN



SITE LEGEND

- Site Boundaries
- Sewer easement (2.0m)
- 5.0m offset lines from outside edge of sewer pipe
- 20m & 30m setback from the top of bank defined as the first major break of slope from the invert of the waterway
- Moonee Ponds Creek = 30m setback
- Five Mile Creek = 20m setback
- First major break of slope from the invert of the waterway
- 13.0m setback from the property boundary
- 5.0m setback from the property boundary
- Existing Tree Protection Zones
- Proposed Landscape Planting

NOTE - REFER TO LANDSCAPE ARCHITECTS PLAN FOR LANDSCAPE DETAILS



PLANNING APPLICATION

AMENDMENTS:
1 14/04/22 PLANNING APPLICATION
2 04/11/22 RFI RESPONSE

AMENDMENT: 2
SCALE: 1 : 500
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A07

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BASEMENT FLOOR PLAN



SITE LEGEND

- Site Boundaries
- Sewer easement (2.0m)
- 5.0m offset lines from outside edge of sewer pipe
- 20m & 30m setback from the top of bank defined as the first major break of slope from the invert of the waterway
- Moonee Ponds Creek = 30m setback
- Five Mile Creek = 20m setback
- First major break of slope from the invert of the waterway
- 13.0m setback from the property boundary
- 5.0m setback from the property boundary
- Existing Tree Protection Zones
- Proposed Landscape Planting

NOTE - REFER TO LANDSCAPE ARCHITECTS PLAN FOR LANDSCAPE DETAILS



PLANNING APPLICATION

AMENDMENTS:

1	14/04/22	PLANNING APPLICATION
2	04/11/22	RFI RESPONSE

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A09

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LOWER GROUND FLOOR PLAN



SITE LEGEND

- Site Boundaries
- Sewer easement (3.0m)
- 5.0m offset lines from outside edge of sewer pipe
- 20m & 30m setback from the top of bank defined as the first major break of slope from the invert of the waterway
- Moonee Ponds Creek > 30m setback
- Five Mile Creek > 20m setback
- First major break of slope from the invert of the waterway
- 13.0m setback from the property boundary
- 5.0m setback from the property boundary
- Existing Tree Protection Zones
- Proposed Landscape Planting

NOTE - REFER TO LANDSCAPE ARCHITECTS PLAN FOR LANDSCAPE DETAILS



PLANNING APPLICATION

AMENDMENTS:
1 14/04/22 PLANNING APPLICATION
2 04/11/22 RFI RESPONSE

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A10

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GROUND FLOOR PLAN



SITE LEGEND

- Site Boundaries
- Sewer easement (3.0m)
- 5.0m offset lines from outside edge of sewer pipe
- 20m & 30m setback from the top of bank defined as the first major break of slope from the invert of the waterway
- Moore Pond Creek = 30m setback
- Pizza Walk Creek = 20m setback
- First major break of slope from the invert of the waterway
- 13.0m setback from the property boundary
- 5.0m setback from the property boundary
- Existing Tree Protection Zones
- Proposed Landscape Planting

NOTE - REFER TO LANDSCAPE ARCHITECTS PLAN FOR LANDSCAPE DETAILS



PLANNING APPLICATION

AMENDMENTS:
1 14/04/22 PLANNING APPLICATION
2 04/11/22 RFI RESPONSE

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A11

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LEVEL 1 FLOOR PLAN



SITE LEGEND

- Site Boundaries
- Sewer easement (3.0m)
- 5.0m offset lines from outside edge of sewer pipe
- 20m & 30m setback from the top of bank defined as the first major break of slope from the invert of the waterway
- Moonee Ponds Creek = 30m setback
- Five Mile Creek = 20m setback
- First major break of slope from the invert of the waterway
- 13.0m setback from the property boundary
- 5.0m setback from the property boundary
- Existing Tree Protection Zones
- Proposed Landscape Planting

NOTE - REFER TO LANDSCAPE ARCHITECTS PLAN FOR LANDSCAPE DETAILS



PLANNING APPLICATION

AMENDMENTS:
1 14/04/22 PLANNING APPLICATION
2 04/11/22 RFI RESPONSE

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A12

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LEVEL 2 FLOOR PLAN



SITE LEGEND

- Site Boundaries
- Sewer easement (2.0m)
- 5.0m offset lines from outside edge of sewer pipe
- 20m & 30m setback from the top of bank defined as the first major break of slope from the invert of the waterway
- Moonee Ponds Creek > 30m setback
- Five Mile Creek > 20m setback
- First major break of slope from the invert of the waterway
- 13.0m setback from the property boundary
- 5.0m setback from the property boundary
- Existing Tree Protection Zones
- Proposed Landscape Planting

NOTE - REFER TO LANDSCAPE ARCHITECTS PLAN FOR LANDSCAPE DETAILS



PLANNING APPLICATION

AMENDMENTS:
1 14/04/22 PLANNING APPLICATION
2 04/11/22 RFI RESPONSE

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A13

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LEVEL 3 FLOOR PLAN



SITE LEGEND

- Site Boundaries
- Sewer easement (2.0m)
- 5.0m offset lines from outside edge of sewer pipe
- 20m & 30m setback from the top of bank defined as the first major break of slope from the invert of the waterway
- Moonee Pond Creek > 30m setback
- Pie Mile Creek > 20m setback
- First major break of slope from the invert of the waterway
- 13.0m setback from the property boundary
- 5.0m setback from the property boundary
- Existing Tree Protection Zones
- Proposed Landscape Planting

NOTE - REFER TO LANDSCAPE ARCHITECTS PLAN FOR LANDSCAPE DETAILS



PLANNING APPLICATION

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1 14/04/22 PLANNING APPLICATION
2 04/11/22 RFI RESPONSE

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Site Boundaries

Sewer easement (3.0m)

5.0m offset lines from outside edge of sewer pipe

20m & 30m setback from the top of bank defined as the first major break of slope from the invert of the waterway

10m and 20m setbacks from the Five Mile Creek (30m setback)

First major break of slope from the invert of the waterway

13.0m setback from the property boundary

5.0m setback from the property boundary

Existing Tree Protection Zones

Proposed Landscape Planning

NOTE - REFER TO LANDSCAPE ARCHITECTS
PLAN FOR LANDSCAPE DETAILS



AMENDMENTS:

1	14/04/22	PLANNING APPLICATION
2	04/11/22	RFI RESPONSE

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Site Boundaries

Sewer easement (3.0m)

5.0m offset from outside edge of sewer pipe

20m & 30m setback from the top of bank defined as the first major break of slope from the invert of the waterway

Monroe Point Creek > 30m setback

Five Mile Creek > 20m setback

First major break of slope from the invert of the waterway

13.0m setback from the property boundary

5.0m setback from the property boundary

Existing Tree Protection Zones

Proposed Landscape Planning

NOTE - REFER TO LANDSCAPE ARCHITECTS
PLAN FOR LANDSCAPE DETAILS



AMENDMENTS:

1	14/04/22	PLANNING APPLICATION
2	04/11/22	RFI RESPONSE

AMENDMENT: 2
SCALE: 1 : 500
SHEET: A1-017

A16

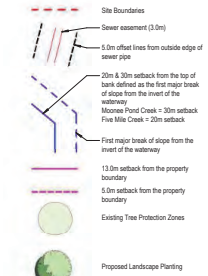
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LEVEL 6 FLOOR PLAN



SITE LEGEND



NOTE - REFER TO LANDSCAPE ARCHITECTS PLAN FOR LANDSCAPE DETAILS



PLANNING APPLICATION

AMENDMENTS:
1 14/04/22 PLANNING APPLICATION
2 04/11/22 RFI RESPONSE

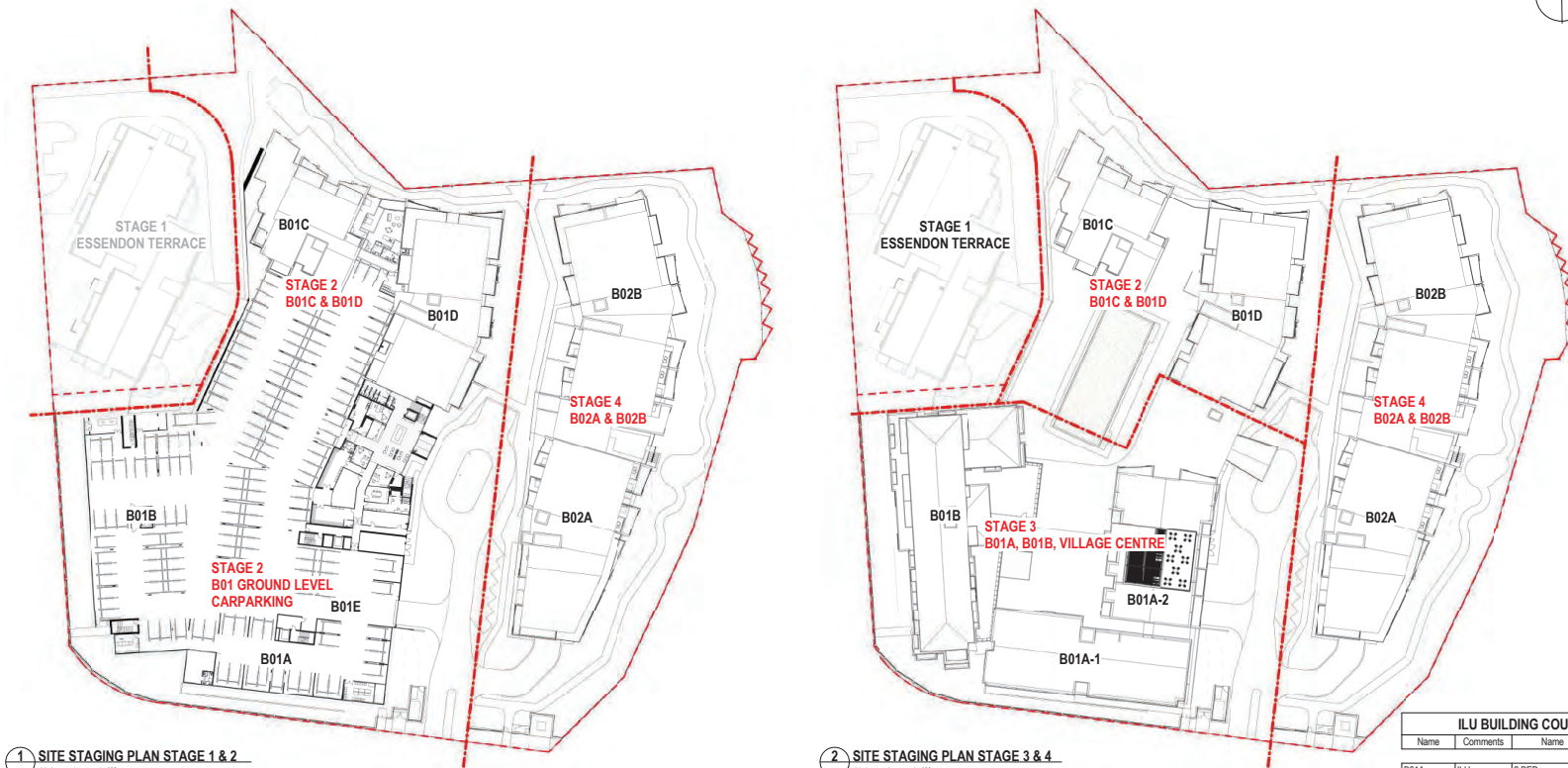
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A17

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CONSTRUCTION STAGING/HANDOVER PLAN



1 SITE STAGING PLAN STAGE 1 & 2
A1 sheet scale = 1 : 500

2 SITE STAGING PLAN STAGE 3 & 4
A1 sheet scale = 1 : 500

SITE STAGING AREAS		BUILDING FOOTPRINT	
STAGE NAME	STAGE AREA	BUILDING	AREA
STAGE 01	3362 m ²	B01	7123.40 m ²
STAGE 02	12207 m ²	B01A-1	852.61 m ²
STAGE 03	7365 m ²	B01A-2	867.86 m ²
STAGE 04	6520 m ²	B01B	1297.59 m ²
	29444 m ²	B01C	696.87 m ²
		B01D	1417.47 m ²
		B02	2857.22 m ²
			15112.02 m ²

GROSS FLOOR AREA		TERRACE AREAS		PODIUM AREAS		BALCONY AREAS	
BUILDING	AREA	BUILDING	AREA	BUILDING	AREA	BUILDING	AREA
B01	10262 m ²	B01	0 m ²	B01	2395 m ²	B01	0 m ²
B01A-1	3053 m ²	B01A-1	0 m ²	B01A-1	0 m ²	B01A-1	0 m ²
B01A-2	3757 m ²	B01A-2	100 m ²	B01A-2	0 m ²	B01A-2	291 m ²
B01B	4196 m ²	B01B	0 m ²	B01B	383 m ²	B01B	100 m ²
B01C	3130 m ²	B01C	0 m ²	B01C	0 m ²	B01C	285 m ²
B01D	5209 m ²	B01D	0 m ²	B01D	0 m ²	B01D	612 m ²
B02	13283 m ²	B02	0 m ²	B02	485 m ²	B02	1164 m ²
	42929 m ²		100 m ²		3263 m ²		2453 m ²

GROSS BUILDING AREA	
BUILDING	AREA
B01	10262 m ²
B01A-1	3294 m ²
B01A-2	4048 m ²
B01B	4381 m ²
B01C	3415 m ²
B01D	5821 m ²
B02	14446 m ²
	45668 m ²

CARE COUNT		
Block	Name	Count
	CARE	61

ALS COUNT			
RVT Link: Name	Level	Name	Count
B01A	B01A LEVEL 1	ALS	10
B01A	B01A LEVEL 2	ALS	10
B01A	B01A LEVEL 3	ALS	10
B01A	B01A LEVEL 4	ALS	10
B01B	LEVEL 5	ALS	10
			50

ILU BUILDING COUNT			
Name	Comments	Name	Count
B01A	ILU	2 BED	20
B01A	ILU	3 BED PREMIUM	8
			28
B01C	ILU	2 BED	6
B01C	ILU	2 BED PREMIUM	15
B01C	ILU	3 BED PREMIUM	2
			23
B01D	ILU	2 BED	22
B01D	ILU	2 BED PREMIUM	5
B01D	ILU	3 BED PREMIUM	11
			38
B02	ILU	1 BED	2
B02	ILU	2 BED	23
B02	ILU	2 BED PREMIUM	32
B02	ILU	3 BED PREMIUM	16
			73
			162



PLANNING APPLICATION

AMENDMENTS:
1 14/04/22 PLANNING APPLICATION
2 04/11/22 RFI RESPONSE

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A18

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SCHEME COMPARISON - PREVIOUS APPLICATION



PLANNING APPLICATION

AMENDMENTS:

1	14/04/22	PLANNING APPLICATION
2	04/11/22	RFI RESPONSE

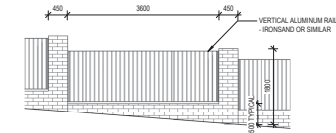
AMENDMENT: 2
SCALE: As indicated
SHEET: A1-020

A19

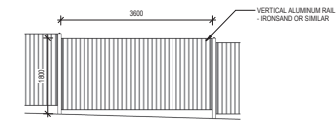
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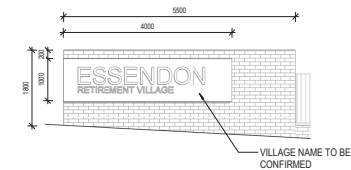
SITE FENCING PLAN



2 FENCE ELEVATION - TYPE A
A1 sheet scale = 1:50



3 FENCE ELEVATION - TYPE B
A1 sheet scale = 1:50



4 FRONT ENTRY SIGNAGE
A1 sheet scale = 1:50



PLANNING APPLICATION

AMENDMENTS:

1	14/04/22	PLANNING APPLICATION
2	04/11/22	RFI RESPONSE

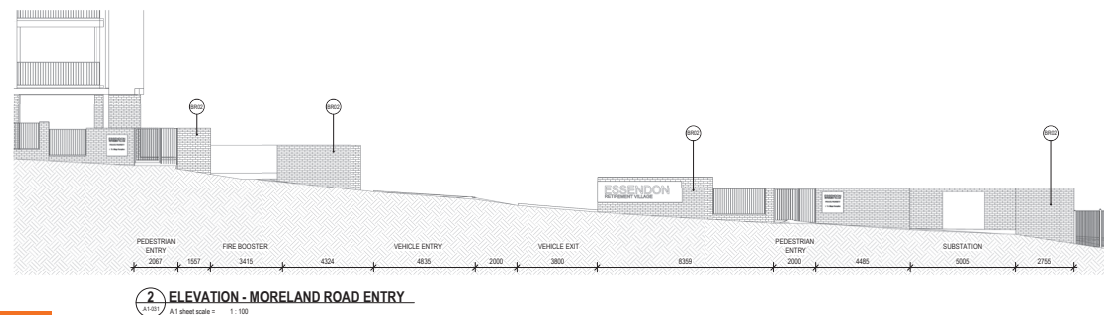
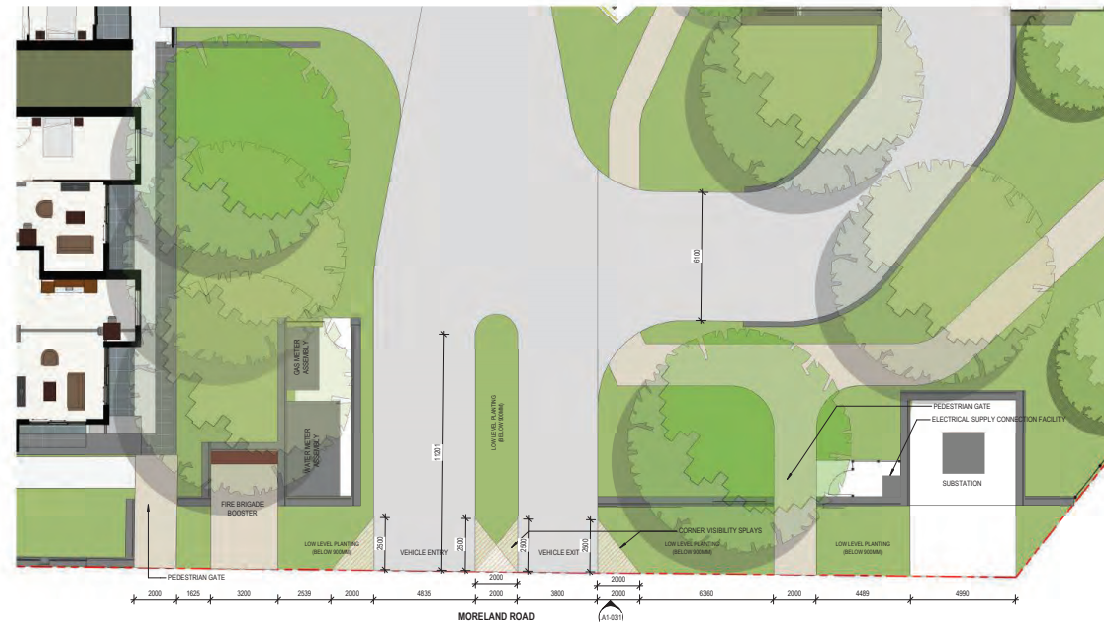
AMENDMENT: 2
SCALE: As indicated
SHEET: A1-030

A20

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SITE ENTRY AND SERVICES



ELEVATION MATERIALS LEGEND

<ul style="list-style-type: none"> DANIEL ROBERTSON BRICK - LONDON OR SIMILAR DANIEL ROBERTSON BRICK - BLACK OR SIMILAR STO RENDER - MILANO SMOOTH CONCRETE FINISH OR SIMILAR KNOTWOOD ALUMINUM SCREENING - NORWEGIAN BEECH OR SIMILAR 	<ul style="list-style-type: none"> ALUMINUM BALUSTRADE - DULUX POWDERCOAT - KINETIC GUNMETAL OR SIMILAR TRIMDEX METAL PROFILED ROOFING - DULUX DURALLOY ETERNITY - GUNMETAL METALLIC KINETIC OR SIMILAR TRIMDEX METAL PROFILED WALL CLADDING - DULUX DURALLOY ETERNITY - GUNMETAL METALLIC KINETIC OR SIMILAR WINDOW JOINERY - DULUX DURALLOY ETERNITY - GUNMETAL METALLIC KINETIC OR SIMILAR
--	---

NOTE - ALL GRADES ALONG ACCESS RAMPS TO COMPLY IN ACCORDANCE WITH AUSTRALIAN STANDARDS
GRADE CHANGES AT PROPERTY BOUNDARY TRANSITIONS TO NOT EXCEED 1:8
MINIMUM GRADE 1:200 FOR INDOOR AND 1:100 FOR OUTDOOR PARKING AREAS, GRADED TOWARDS A DISCHARGE POINT FOR DRAINAGE



PLANNING APPLICATION

AMENDMENTS:
1 04/11/22 RFI RESPONSE

AMENDMENT: 1
SCALE: As indicated
SHEET: .A1-031

A21

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SITE ELEVATIONS



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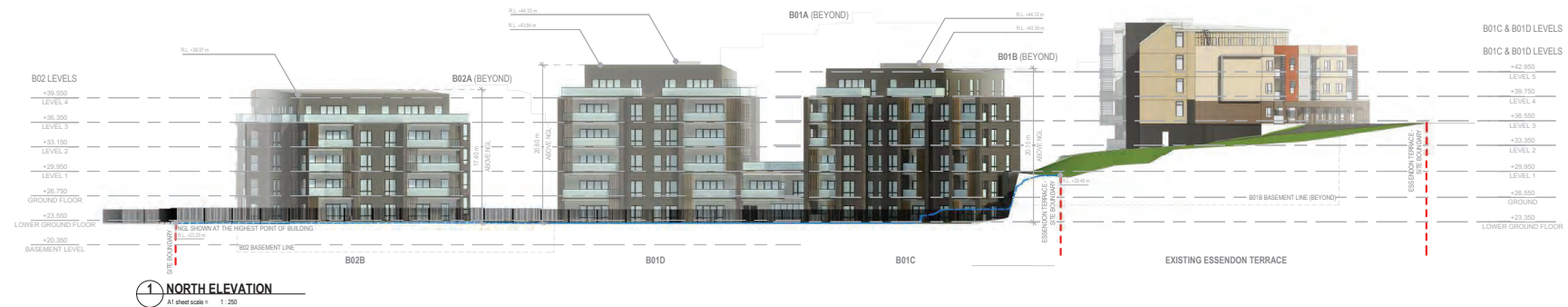
SITE ELEVATIONS



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SITE ELEVATIONS



ELEVATION MATERIALS LEGEND



DANIEL ROBERTSON BRICK - LONDON OR SIMILAR	STC RENDER - MILANO SMOOTH CONCRETE FINISH OR SIMILAR
DANIEL ROBERTSON BRICK - BLACK OR SIMILAR	TRINDEK METAL PROFILED ROOFING - DULUX DURALLOY ETERNITY - QUINMETAL METALLIC KINETIC OR SIMILAR
KNOTWOOD ALUMINUM SCREENING - NORWEGIAN BEECH OR SIMILAR	TRINDEK METAL PROFILED WALL CLADDING - DULUX DURALLOY - QUINMETAL METALLIC KINETIC OR SIMILAR
ALUMINUM BALUSTRADE - DULUX POWDERCOAT KINETIC DURALLOY OR SIMILAR	WINDOW JOINERY - DULUX DURALLOY ETERNITY - QUINMETAL METALLIC KINETIC OR SIMILAR
STC RENDER - MILANO SMOOTH CONCRETE FINISH OR SIMILAR	

PLANNING APPLICATION

AMENDMENTS:	
1	14/04/22 PLANNING APPLICATION
2	04/11/22 RFI RESPONSE

AMENDMENT: 2
SCALE: As indicated
SHEET: A2-030

A25

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SITE ELEVATIONS



PLANNING APPLICATION

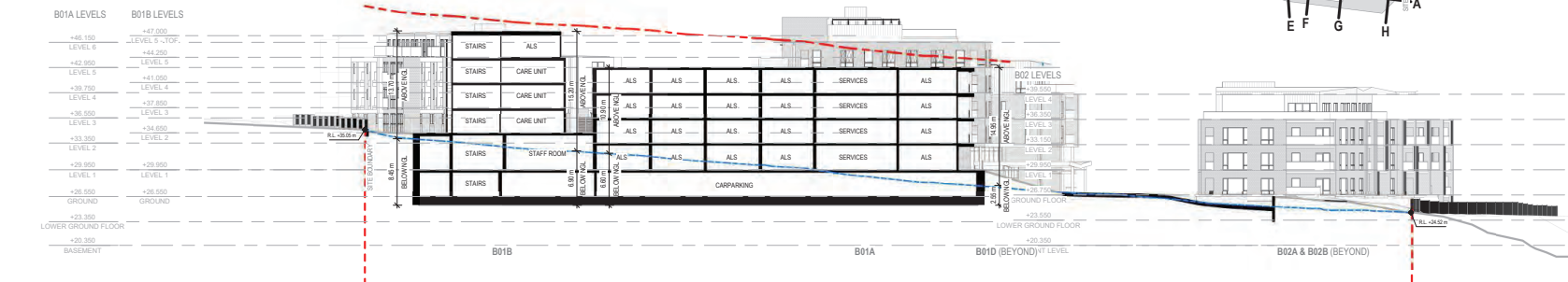
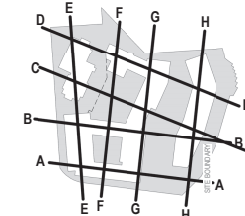
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SITE SECTIONS

SITE SECTION KEY



PLANNING APPLICATION

AMENDMENTS:

1	14/04/22	PLANNING APPLICATION
2	04/11/22	RFI RESPONSE

AMENDMENT: 2
SCALE: As indicated
SHEET: A3-010

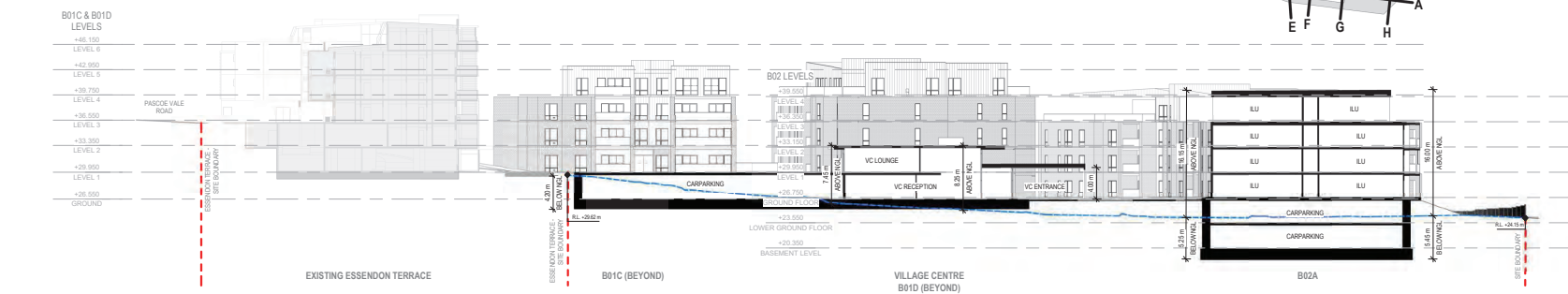
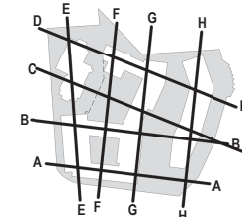
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SITE SECTIONS

SITE SECTION KEY



PLANNING APPLICATION

AMENDMENTS:
1 04/11/22 RFI RESPONSE

AMENDMENT: 1
SCALE: As indicated
SHEET: A3-011

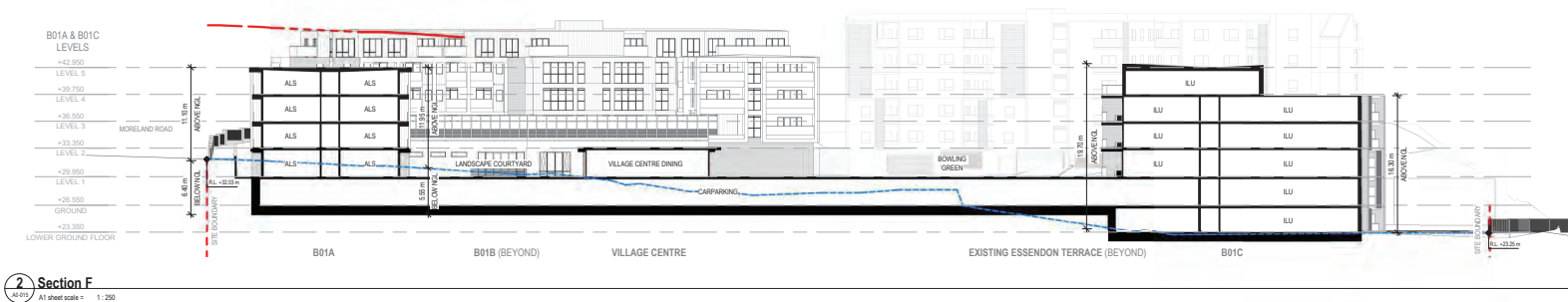
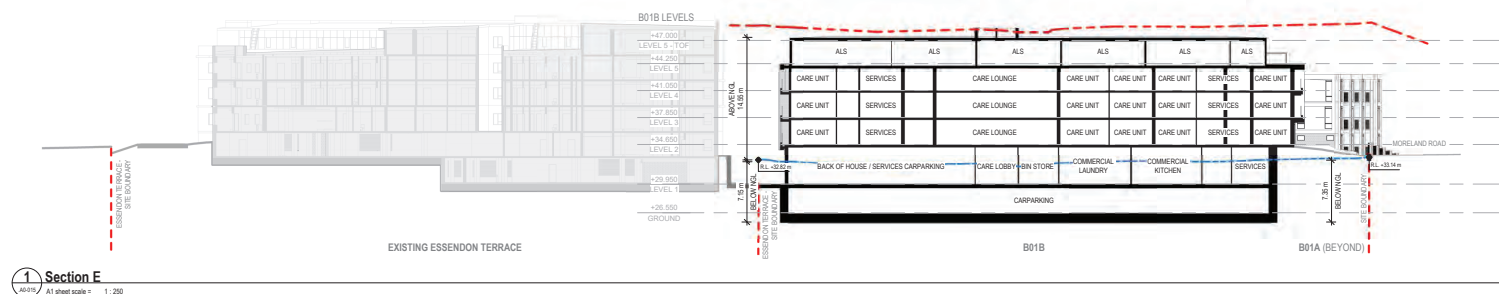
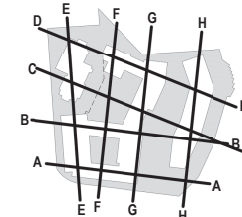
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SITE SECTIONS

SITE SECTION KEY



PLANNING APPLICATION

AMENDMENTS:
1 04/11/22 RFI RESPONSE

AMENDMENT: 1
SCALE: As indicated
SHEET: A3-012

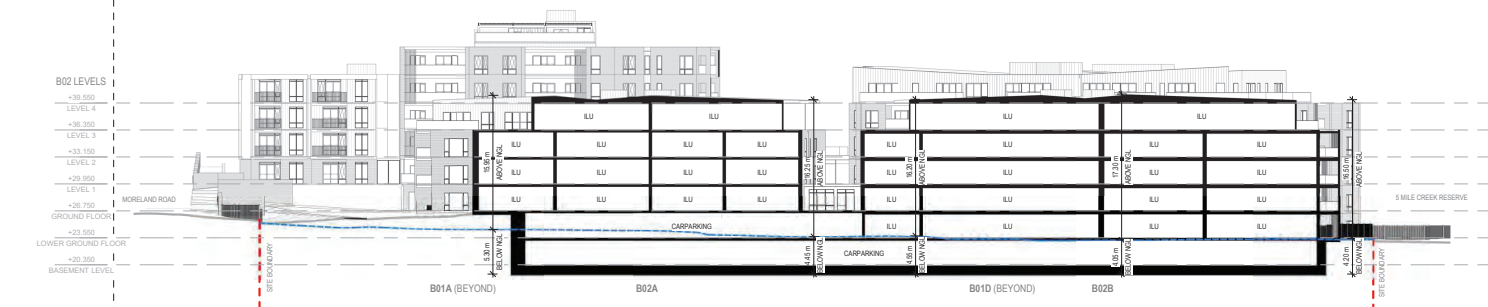
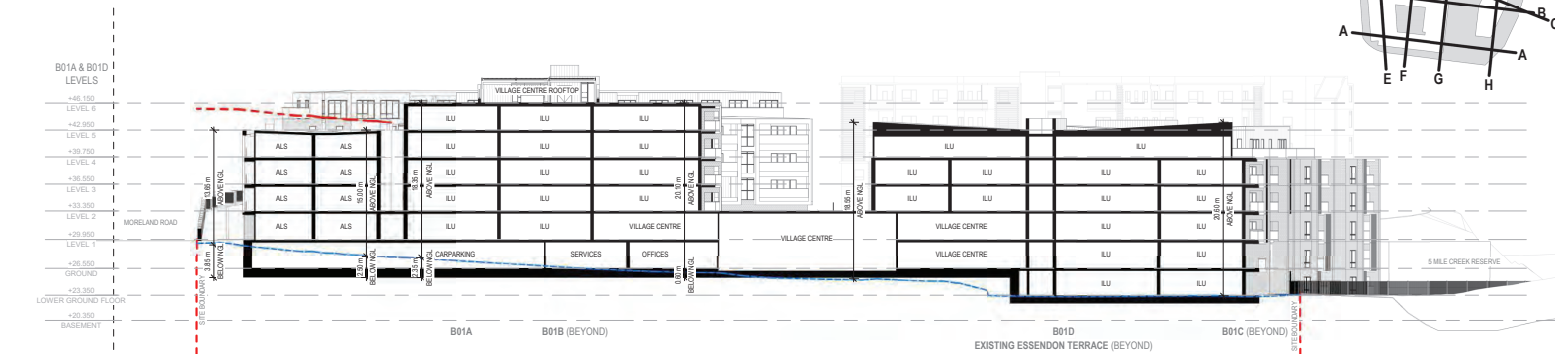
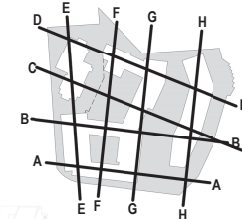
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SITE SECTIONS

SITE SECTION KEY



PLANNING APPLICATION

AMENDMENTS:
1 04/11/22 RFI RESPONSE

AMENDMENT: 1
SCALE: As indicated
SHEET: .A3-013

A30

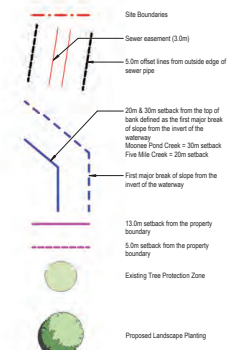
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B01A / B01B - GROUND FLOOR PLAN



SITE LEGEND



NOTE - REFER TO LANDSCAPE ARCHITECTS PLAN FOR LANDSCAPE DETAILS

NOTE - ALL GRADES ALONG ACCESS RAMPS TO COMPLY IN ACCORDANCE WITH AUSTRALIAN STANDARDS

GRADE CHANGES AT PROPERTY BOUNDARY TRANSITIONS TO NOT EXCEED 1:8

MINIMUM GRADE 1:200 FOR INDOOR AND 1:100 FOR OUTDOOR PARKING AREAS, GRADED TOWARDS A DISCHARGE POINT FOR DRAINAGE



PLANNING APPLICATION

AMENDMENTS:
1 12/04/2022 PRELIMINARY DESIGN
2 04/11/22 RFI RESPONSE

AMENDMENT: 2
SCALE: 1 : 200
SHEET: .A1-020

A31

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Site Boundaries

- Sewer easement (3.0m)
- 5.0m offset lines from outside edge of sewer pipe
- 20m & 30m setback from the top of bank defined as the first major break of slope from the invert of the waterway
- Mooneyes Pond Creek - 30m setback
- Five Mile Creek - 20m setback
- First major break of slope from the invert of the waterway
- 13.0m setback from the property boundary
- 5.0m setback from the property boundary
- Existing Tree Protection Zone
- Proposed Landscape Planting

NOTE - REFER TO LANDSCAPE ARCHITECTS
PLAN FOR LANDSCAPE DETAILS

NOTE - ALL GRADES ALONG ACCESS RAMPS TO COMPLY IN ACCORDANCE WITH AUSTRIAN STANDARDS

GRADE CHANGES AT PROPERTY BOUNDARY TRANSITIONS TO NOT EXCEED 1:8

MINIMUM GRADE 1:200 FOR INDOOR AND 1:100
FOR OUTDOOR PARKING AREAS, GRADED
TOWARDS A DISCHARGE POINT FOR DRAINAGE

MINIMUM GRADE 1:200 FOR INDOOR AND 1:100
FOR OUTDOOR PARKING AREAS, GRADED
TOWARDS A DISCHARGE POINT FOR DRAINAGE



AMENDMENTS:

1	12/04/2022	PRELIMINARY DESIGN
2	04/11/22	RFI RESPONSE

AMENDMENT: 2
SCALE: 1 : 200
SHEET: A1-030

A32

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B01A / B01B - LEVEL 2 FLOOR PLAN



PLANNING APPLICATION

AMENDMENTS:

1	12/04/2022	PRELIMINARY DESIGN
2	04/11/22	RFI RESPONSE

AMENDMENT: 2
SCALE: 1 : 200
SHEET: A1-040

A33

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Site Boundaries

Sewer assessment (2.0m)

5.0m offset from outside edge of sewer pipe

20m & 30m setback from the top of bank defined as the first major break of slope from the invert of the waterway

Five Mile Creek > 20m setback

First major break of slope from the invert of the waterway

12.0m setback from the property boundary

5.0m setback from the property boundary

Existing Tree Protection Zone

Proposed Landscape Planting

NOTE - REFER TO LANDSCAPE ARCHITECTS
PLAN FOR LANDSCAPE DETAILS

NOTE - ALL GRADES ALONG ACCESS RAMPS TO COMPLY IN ACCORDANCE WITH AUSTRIAN STANDARDS

GRADE CHANGES AT PROPERTY BOUNDARY
TRANSITIONS TO NOT EXCEED 1:8

MINIMUM GRADE 1:200 FOR INDOOR AND 1:100 FOR OUTDOOR PARKING AREAS, GRADED TOWARDS A DISCHARGE POINT FOR DRAINAGE



PLANNING APPLICATION

AMENDMENTS:

1	12/04/2022	PRELIMINARY DESIGN
2	04/11/22	RFI RESPONSE

AMENDMENT: 2
SCALE: 1 : 200
SHEET: A1-050

A34

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Site Boundaries

Sewer easement (3.0m)

5.0m offset lines from outside edge of sewer pipe

20m & 30m setback from the top of bank defined as the first major break of slope from the invert of the waterway.

Monroe Pond Creek - 20m setback

Free Mills Creek - 30m setback

First major break of slope from the invert of the waterway

13.0m setback from the property boundary

5.0m setback from the property boundary

Existing Tree Protection Zone

Proposed Landscape Planting

NOTE - REFER TO LANDSCAPE ARCHITECTS
PLAN FOR LANDSCAPE DETAILS

NOTE - ALL GRADES ALONG ACCESS RAMPS TO COMPLY IN ACCORDANCE WITH AUSTRIAN STANDARDS

GRADE CHANGES AT PROPERTY BOUNDARY
TRANSITIONS TO NOT EXCEED 1:8

MINIMUM GRADE 1:200 FOR INDOOR AND 1:100
FOR OUTDOOR PARKING AREAS, GRADED
TOWARDS A DISCHARGE POINT FOR DRAINAGE



AMENDMENTS:

1	12/04/2022	PRELIMINARY DESIGN
2	04/11/22	RFI RESPONSE

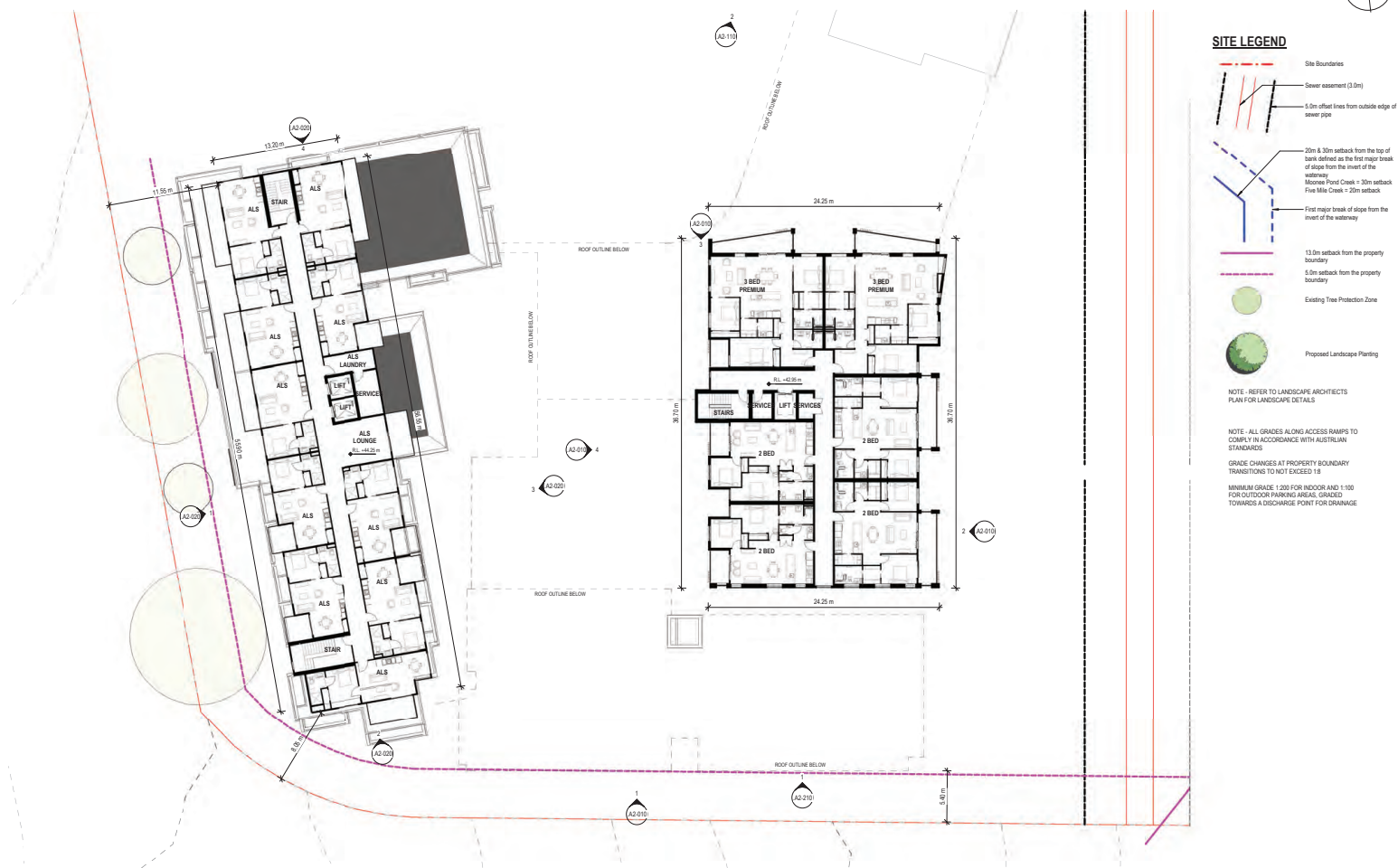
AMENDMENT: 2
SCALE: 1 : 200
SHEET: A1-060

A35

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B01A / B01B - LEVEL 5 FLOOR PLAN



PLANNING APPLICATION

AMENDMENTS:

1	12/04/2022	PRELIMINARY DESIGN
2	04/11/22	RF1 RESPONSE

AMENDMENT: 2
SCALE: 1 : 200
SHEET: .A1-070

A36

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B01A / B01B - LEVEL 6 FLOOR PLAN



PLANNING APPLICATION

AMENDMENTS:

1	12/04/2022	PRELIMINARY DESIGN
2	04/11/22	RF1 RESPONSE

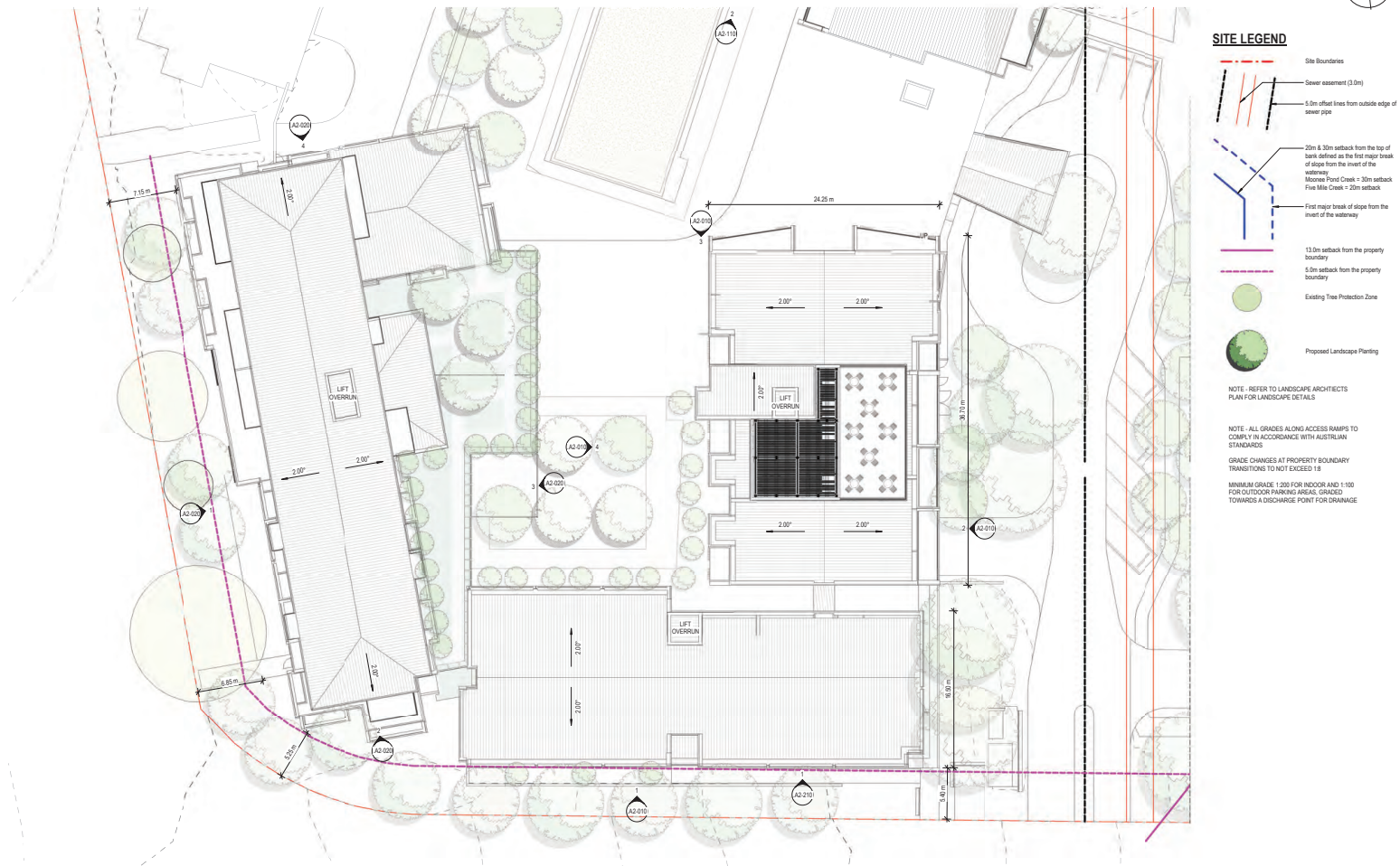
AMENDMENT: 2
SCALE: 1:200
SHEET: A1-080

A37

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B01A / B01B - ROOF PLAN



PLANNING APPLICATION

AMENDMENTS:
1 04/11/22 RFI RESPONSE

AMENDMENT: 1
SCALE: 1 : 200
SHEET: A1-090

A38

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B01C / B01D - LOWER GROUND FLOOR PLAN



PLANNING APPLICATION

AMENDMENTS:

1 12/04/2022 PRELIMINARY DESIGN
2 04/11/22 RFI RESPONSE

AMENDMENT: 2
SCALE: 1:200
SHEET: A1-110

A39

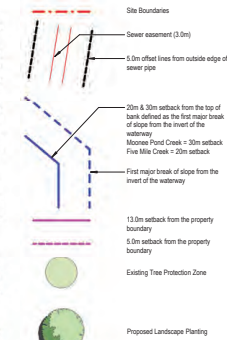
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B01C / B01D - GROUND FLOOR PLAN



SITE LEGEND



NOTE - REFER TO LANDSCAPE ARCHITECTS PLAN FOR LANDSCAPE DETAILS

NOTE - ALL GRADES ALONG ACCESS RAMPS TO COMPLY IN ACCORDANCE WITH AUSTRALIAN STANDARDS

GRADE CHANGES AT PROPERTY BOUNDARY TRANSITIONS TO NOT EXCEED 1:8
MINIMUM GRADE 1:20 FOR INDOOR AND 1:100 FOR OUTDOOR PARKING AREAS. GRADED TOWARDS A DISCHARGE POINT FOR DRAINAGE



PLANNING APPLICATION

AMENDMENTS:
1 12/04/2022 PRELIMINARY DESIGN
2 04/11/22 RFI RESPONSE

AMENDMENT: 2
SCALE: 1 : 200
SHEET: .A1-120

A40

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B01C / B01D - LEVEL 1 FLOOR PLAN



PLANNING APPLICATION

AMENDMENTS:

1	12/04/2022	PRELIMINARY DESIGN
2	04/11/22	RF1 RESPONSE

AMENDMENT: 2
SCALE: 1 : 200
SHEET: .A1-130

A41

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B01C / B01D - LEVEL 2 FLOOR PLAN



SITE LEGEND

Site Boundaries

Sewer easement (3.0m)

5.0m offset lines from outside edge of sewer pipe

20m & 30m setback from the top of bank defined as the first major break of slope from the invert of the waterway
Moonsee Pond Creek = 30m setback
Five Mile Creek = 20m setback

First major break of slope from the invert of the waterway

13.0m setback from the property boundary

5.0m setback from the property boundary

Existing Tree Protection Zone

Proposed Landscape Planting

NOTE - REFER TO LANDSCAPE ARCHITECTS
PLAN FOR LANDSCAPE DETAILS

NOTE - ALL GRADES ALONG ACCESS RAMPS TO COMPLY IN ACCORDANCE WITH AUSTRIAN STANDARDS

GRADE CHANGES AT PROPERTY BOUNDARY TRANSITIONS TO NOT EXCEED 1:8

MINIMUM GRADE 1:200 FOR INDOOR AND 1:100 FOR OUTDOOR PARKING AREAS, GRADED TOWARDS A DISCHARGE POINT FOR DRAINAGE

AMENDMENTS:

1	12/04/2022	PRELIMINARY DESIGN
2	04/11/22	RFI RESPONSE

AMENDMENT: 2
SCALE: 1 : 200
SHEET: A1-140

A42

PLANNING APPLICATION

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B01C / B01D - LEVEL 3 FLOOR PLAN



PLANNING APPLICATION

A43

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B01C / B01D - LEVEL 4 FLOOR PLAN



PLANNING APPLICATION

A44

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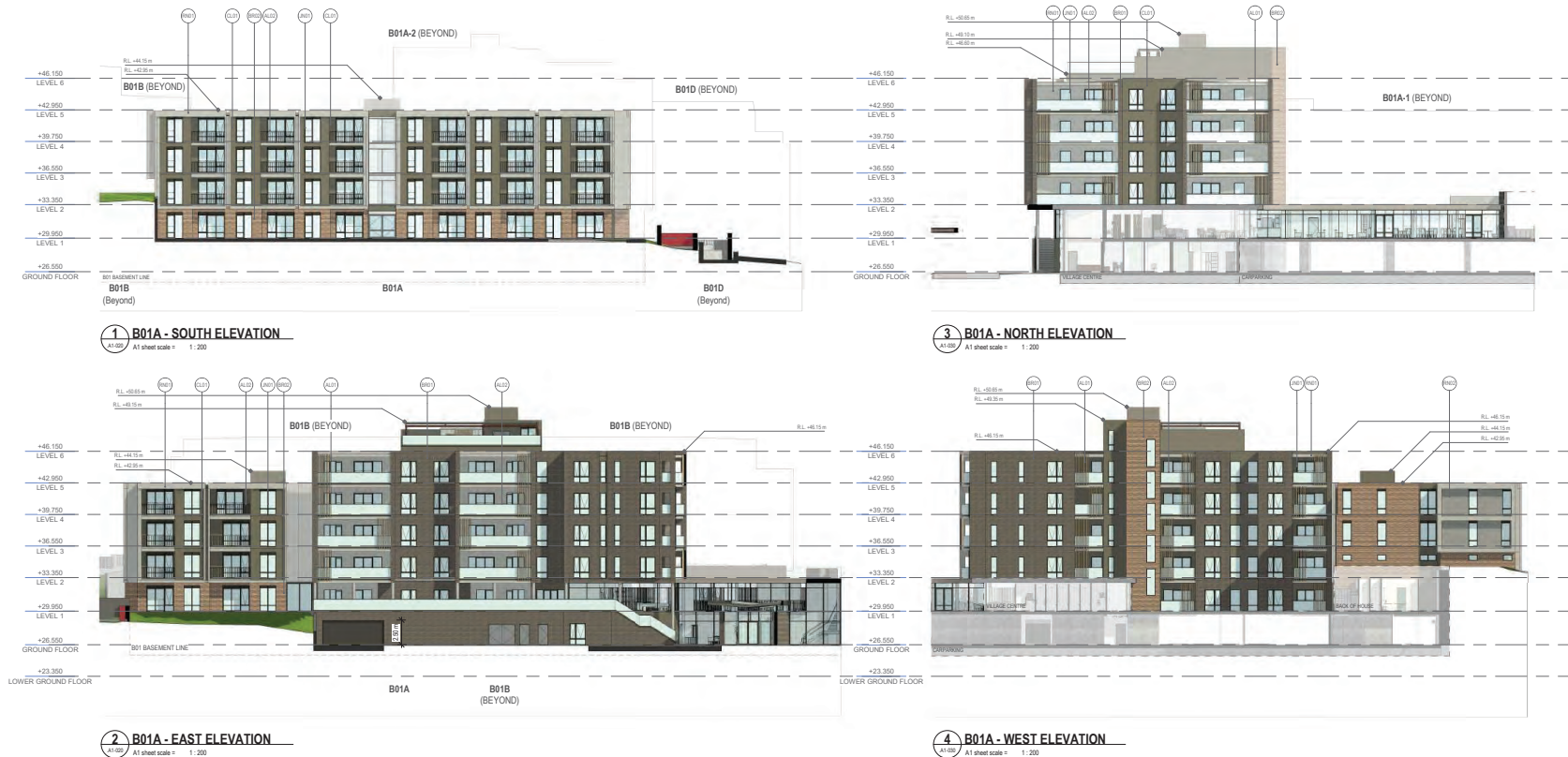
AMENDMENT: 1
SCALE: 1 : 200
SHEET: A1-170

A45

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B01A - ELEVATIONS



ELEVATION MATERIALS LEGEND



DANIEL ROBERTSON BRICK - LONDON OR SIMILAR	STO RENDER - MILANO SMOOTH CONCRETE FINISH OR SIMILAR
DANIEL ROBERTSON BRICK - BLACK OR SIMILAR	TRAXES METAL PROFILED ROOFING - DULUX DURALLOY ETERNITY - GUNMETAL METALLIC KINETIC OR SIMILAR
KNOTWOOD ALUMINUM SCREENING - NORWEGIAN BEECH OR SIMILAR	TRAXES METAL PROFILED WALL CLADDING - DULUX DURALLOY ETERNITY - GUNMETAL METALLIC KINETIC OR SIMILAR
ALUMINUM BALUSTRADE - DULUX POWDERCOAT - KINETIC GUNMETAL OR SIMILAR	WINDOW JOINTS - DULUX DURALLOY ETERNITY - GUNMETAL METALLIC KINETIC OR SIMILAR
STO RENDER	
STO RENDER - MILANO SMOOTH CONCRETE FINISH OR SIMILAR	

PLANNING APPLICATION

AMENDMENTS:
1 04/11/22 RFI RESPONSE

AMENDMENT: 1
SCALE: 1 : 200
SHEET: A2-010

A46

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B01B - ELEVATIONS



1 B01B - WEST ELEVATION
A1-020 At sheet scale = 1:200



3 B01B - EAST ELEVATION
A1-020 At sheet scale = 1:200



2 B01B - SOUTH ELEVATION
A1-020 At sheet scale = 1:200



4 B01B - NORTH ELEVATION
A1-020 At sheet scale = 1:200

ELEVATION MATERIALS LEGEND



PLANNING APPLICATION

AMENDMENTS:
1 04/11/22 RFI RESPONSE

AMENDMENT: 1
SCALE: 1:200
SHEET: A2-020

A47

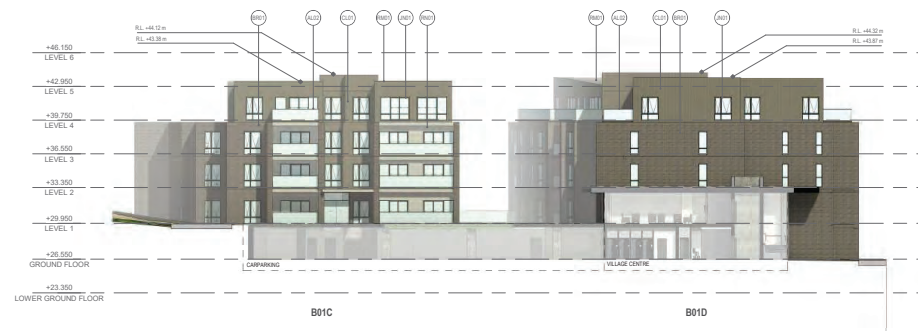
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B01C / B01D - ELEVATIONS



1 B01C & B01D - NORTH ELEVATION
A1 sheet scale = 1:200



2 B01C & B01D - SOUTH ELEVATION
A1 sheet scale = 1:200

ELEVATION MATERIALS LEGEND



<ul style="list-style-type: none"> DANIEL ROBERTSON BRICK - LONDON OR SIMILAR DANIEL ROBERTSON BRICK - BLACK OR SIMILAR KNOTWOOD ALUMINUM SCREENING - NORWEGIAN BEECH OR SIMILAR ALUMINUM BALUSTRADE - DULUX POWDERCOAT - KINETIC GUNMETAL OR SIMILAR STO RENDER - MILANO SMOOTH CONCRETE FINISH OR SIMILAR 	<ul style="list-style-type: none"> STO RENDER - MILANO SMOOTH CONCRETE FINISH OR SIMILAR TRINSEK METAL PROFILED ROOFING - DULUX DURALLOY ETERNITY - GUNMETAL METALLIC KINETIC OR SIMILAR TRINSEK METAL PROFILED WALL CLADDING - DULUX DURALLOY ETERNITY - GUNMETAL METALLIC KINETIC OR SIMILAR WINDOW JOINTERY - DULUX DURALLOY ETERNITY - GUNMETAL METALLIC KINETIC OR SIMILAR
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PLANNING APPLICATION

AMENDMENTS:
1 04/11/22 RFI RESPONSE

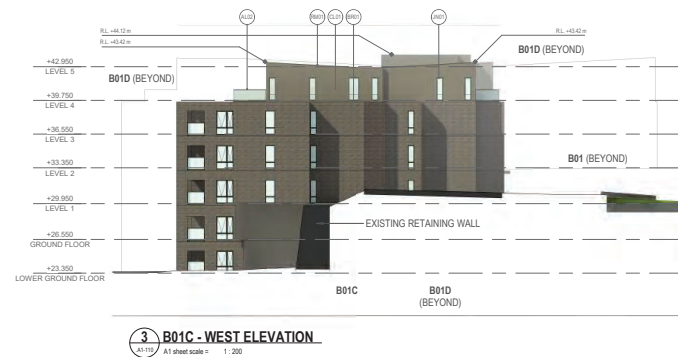
AMENDMENT: 1
SCALE: 1:200
SHEET: A2-110

A48

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PLANS

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B01C / B01D - ELEVATIONS



ELEVATION MATERIALS LEGEND



PLANNING APPLICATION

AMENDMENTS:
1 04/11/22 RFI RESPONSE

AMENDMENT: 1
SCALE: 1:200
SHEET: A2-120

A49

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ELEVATION DETAIL - ALS & CARE TYPICAL



ELEVATION MATERIALS LEGEND

	1001 DANIEL ROBERTSON BRICK - LONDON OR SIMILAR		1006 STD RENDER - MILANO SMOOTH CONCRETE FINISH OR SIMILAR
	1002 DANIEL ROBERTSON BRICK - BLACK OR SIMILAR		1007 TRIMDEX METAL PROFILED ROOFING - DULUX DURALLOY ETERNITY - GUNMETAL METALLIC KINETIC OR SIMILAR
	1003 KNOTWOOD ALUMINUM SCREENING - NORWEGIAN BEECH OR SIMILAR		1008 TRIMDEX METAL PROFILED WALL CLADDING - DULUX DURALLOY ETERNITY - GUNMETAL METALLIC KINETIC OR SIMILAR
	1004 ALUMINUM BALUSTRADE - DULUX POWDERCOAT - KINETIC GUNMETAL OR SIMILAR		1009 WINDOW JOINERY - DULUX DURALLOY ETERNITY - GUNMETAL METALLIC KINETIC OR SIMILAR
	1005 STD RENDER - MILANO SMOOTH CONCRETE FINISH OR SIMILAR		



PLANNING APPLICATION

AMENDMENTS:
1 04/11/22 RFI RESPONSE

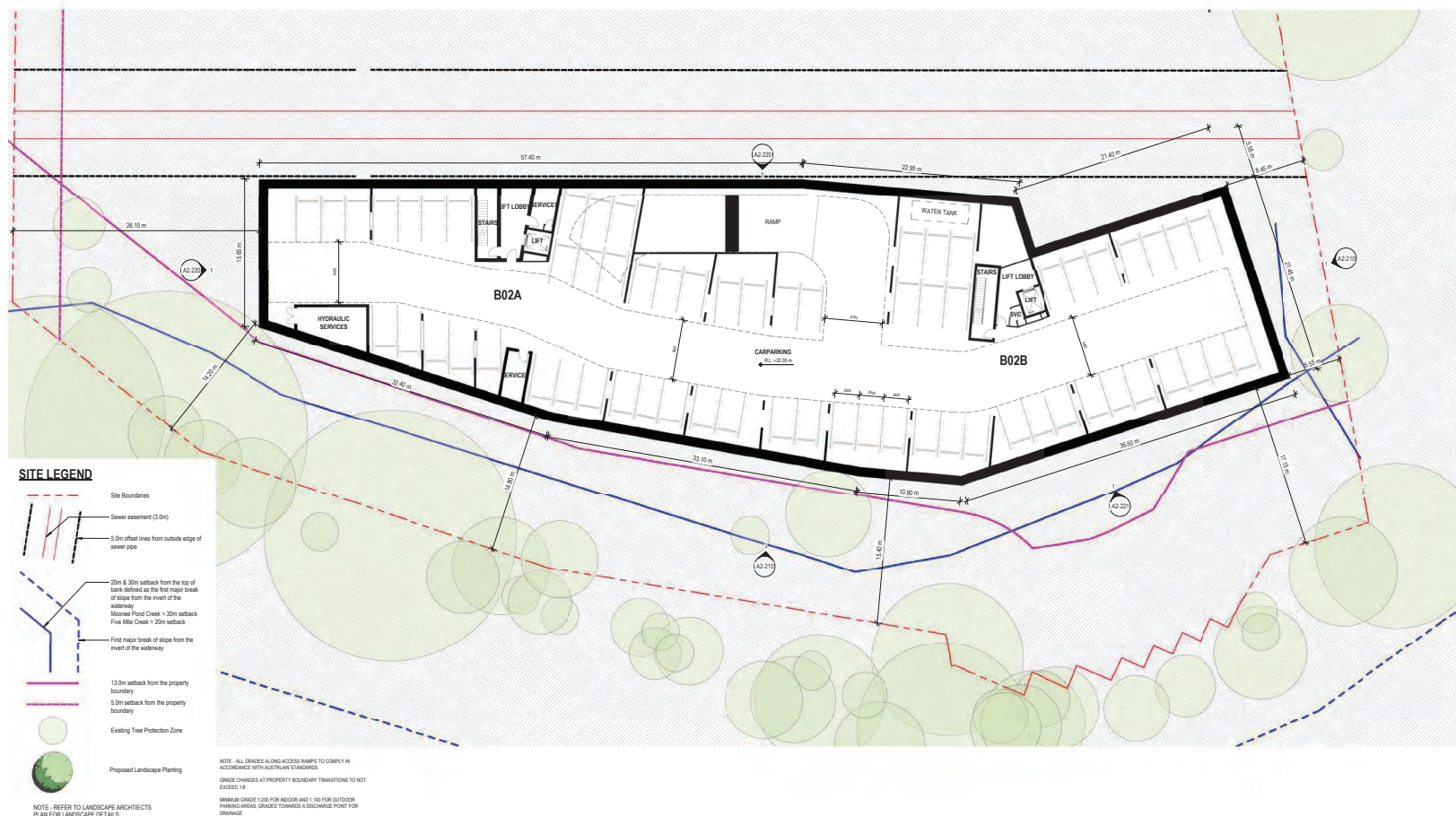
AMENDMENT: 1
SCALE: As indicated
SHEET: A2-210

A50

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B02 BASEMENT FLOOR PLAN



PLANNING APPLICATION

AMENDMENTS:
2 04/11/22 RFI RESPONSE

AMENDMENT: 2
SCALE: 1 : 200
SHEET: A1-210

A51

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B02 LOWER GROUND FLOOR PLAN



PLANNING APPLICATION

AMENDMENTS:
2 04/11/22 RFI RESPONSE

AMENDMENT: 2
SCALE: 1:200
SHEET: A1-220

A52

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B02 GROUND FLOOR PLAN



PLANNING APPLICATION

AMENDMENTS:
2 04/11/22 RFI RESPONSE

AMENDMENT: 2
SCALE: 1 : 200
SHEET: A1-230

A53

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B02 LEVEL 1 FLOOR PLAN



PLANNING APPLICATION

AMENDMENTS:
2 04/11/22 RFI RESPONSE

AMENDMENT: 2
SCALE: 1:200
SHEET: A1-240

A54

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B02 LEVEL 2 FLOOR PLAN



PLANNING APPLICATION

AMENDMENTS:
2 04/11/22 RFI RESPONSE

AMENDMENT: 2
SCALE: 1:200
SHEET: A1-250

A55

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B02 LEVEL 3 FLOOR PLAN



PLANNING APPLICATION

AMENDMENTS:
2 04/11/22 RFI RESPONSE

AMENDMENT: 2
SCALE: 1:200
SHEET: A1-260

A56

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B02 ROOF PLAN



PLANNING APPLICATION

AMENDMENTS:
2 04/11/22 RFI RESPONSE

AMENDMENT: 2
SCALE: 1 : 200
SHEET: A1-270

A57

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B02 ELEVATIONS



1 B02 NORTH ELEVATION
A1.210 A1 sheet scale = 1:200

2 B02A NORTH ELEVATION
A1.240 A1 sheet scale = 1:200



3 B02 EAST ELEVATION
A1.210 A1 sheet scale = 1:200

ELEVATION MATERIALS LEGEND

DANIEL ROBERTSON BRICK - LONDON OR SIMILAR	TRIMDEX METAL PROFILED ROOFING - DULUX DURALLOY ETERNITY - GUNMETAL METALLIC KINETIC OR SIMILAR
STO RENDER - MILANO SMOOTH CONCRETE FINISH OR SIMILAR	TRIMDEX METAL PROFILED WALL CLADDING - DULUX DURALLOY ETERNITY - GUNMETAL METALLIC KINETIC OR SIMILAR
KNOTWOOD ALUMINUM SCREENING - NORWEGIAN BEECH OR SIMILAR	WINDOW JOINERY - DULUX DURALLOY ETERNITY - GUNMETAL METALLIC KINETIC OR SIMILAR
ALUMINUM BALUSTRADE - DULUX POWDERCOAT - KINETIC GUNMETAL OR SIMILAR	



PLANNING APPLICATION

AMENDMENTS:
2 04/11/22 RFI RESPONSE

AMENDMENT: 2
SCALE: 1:200
SHEET: A2-210

A58

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B02 ELEVATIONS



1 B02 SOUTH ELEVATION
A1.219 A1 sheet scale = 1 : 200



3 B02B SOUTH ELEVATION
A1.240 A1 sheet scale = 1 : 200



2 B02 WEST ELEVATION
A1.218 A1 sheet scale = 1 : 200

ELEVATION MATERIALS LEGEND



PLANNING APPLICATION

AMENDMENTS:
2 04/11/22 RFI RESPONSE

AMENDMENT: 2
SCALE: 1 : 200
SHEET: A2-220

A59

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ELEVATION DETAIL - APARTMENTS



1 TYPICAL APARTMENT ELEVATION DETAIL
A1/210 At sheet scale 1:50

ELEVATION MATERIALS LEGEND

	DANIEL ROBERTSON BRICK - LONDON OR SIMILAR		TRIMTEK METAL PROFILED ROOFING - DULUX DURALLOY ETERNITY - GUNMETAL METALLIC KINETIC OR SIMILAR
	STO RENDER - MILANO SMOOTH CONCRETE FINISH OR SIMILAR		TRIMTEK METAL PROFILED WALL CLADDING - DULUX DURALLOY ETERNITY - GUNMETAL METALLIC KINETIC OR SIMILAR
	KNOTWOOD ALUMINUM SCREENING - NORWEGIAN BEECH OR SIMILAR		WINDOW JOINERY - DULUX DURALLOY ETERNITY - GUNMETAL METALLIC KINETIC OR SIMILAR
	ALUMINUM BALUSTRADE - DULUX POWDERCOAT - KINETIC GUNMETAL OR SIMILAR		



PLANNING APPLICATION

AMENDMENTS:
2 04/11/22 RFI RESPONSE

AMENDMENT: 2
SCALE: As indicated
SHEET: A2-221

A60

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SCHEDULES

ILU VILLAGE COUNT			
Comments	Name	Count	
ILU	1 BED	2	
ILU	2 BED	71	
ILU	2 BED PREMIUM	52	
ILU	3 BED PREMIUM	37	
		162	

ILU BUILDING COUNT			
Name	Comments	Name	Count
B01A	ILU	2 BED	20
B01A	ILU	3 BED PREMIUM	6
			26
B01C	ILU	2 BED	6
B01C	ILU	2 BED PREMIUM	15
B01C	ILU	3 BED PREMIUM	2
			23
B01D	ILU	2 BED	22
B01D	ILU	2 BED PREMIUM	5
B01D	ILU	3 BED PREMIUM	11
			38
B02	ILU	1 BED	12
B02	ILU	2 BED	23
B02	ILU	2 BED PREMIUM	32
B02	ILU	3 BED PREMIUM	16
			73
			162

ALS COUNT			
RVT Link- Name	Level	Name	Count
B01A	B01A LEVEL 1	ALS	10
B01A	B01A LEVEL 2	ALS	10
B01A	B01A LEVEL 3	ALS	10
B01A	B01A LEVEL 4	ALS	10
B01B	LEVEL 5	ALS	10
			50

CARE COUNT			
Block	Name	Count	
	CARE	61	
		61	

BUILDING COVERAGE	
Name	Area

SITE COVERAGES

TOTAL SITE AREA = 22,087sqm
ESSENDON TOWERS = 3,774sqm
DEVELOPED LAND FROM ESSEDON TOWERS = 210.99sqm

TOTAL DEVELOPEABLE LAND IN THIS DEVELOPMENT = 18,523.99sqm

IMPERVIOUS AREA = 2,206.52sqm 11.91%
BUILDING COVERAGE = 11,028.77sqm 59.54%
TOTAL COVERAGE = 13,235.29sqm 71.45%
PERMABLE AREA = 5,288.70 28.55%

GARDEN AREA = 5,288.70sqm 28.55%



SITE PLAN
A1 sheet scale = 1 : 1000
A3 sheet scale is twice scale shown above

6a. PARKING REQUIRED

REFER TO TRAFFIX GROUP TRAFFIC ENGINEERING ASSESSMENT FOR PARKING NUMBERS



PLANNING APPLICATION

AMENDMENTS:	
1	14/04/22 PLANNING APPLICATION
2	04/11/22 RFI RESPONSE

AMENDMENT:	2
SCALE:	1 : 1000
SHEET:	.A5-010

A61

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EXTERNAL FINISHES SCHEDULE

B01A & B01B FINISHES

BR01

Daniel Robertson Brick - Hawthorn - London or similar

BR02

Daniel Robertson Brick - Hawthorn - Black or similar

RN01

StoRender Milano - Smooth Concrete finish or similar

RN02

StoRender Milano - Smooth Concrete finish or similar

RM01

Trimdek Metal Profile - Roofing - Dulux Kinetic Gunmetal or similar

CL01

Trimdek Metal Profile - Cladding - Dulux Kinetic Gunmetal or similar

AL01

Knotwood AU Aluminum Battens - Norwegian Beech or similar

AL02

Aluminum Balustrade - Dulux Kinetic Gunmetal or similar

JN01

Window Joinery - Dulux Kinetic Gunmetal or similar

B01C, B01D, B02A & B02B FINISHES

BR01

Daniel Robertson Brick - Hawthorn - London or similar

RN01

StoRender Milano - Smooth Concrete finish or similar

RM01

Trimdek Metal Profile - Roofing - Dulux Kinetic Gunmetal or similar

CL01

Trimdek Metal Profile - Cladding - Dulux Kinetic Gunmetal or similar

AL01

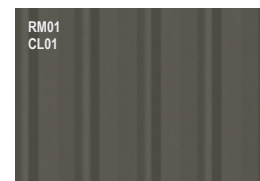
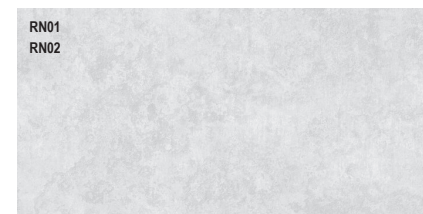
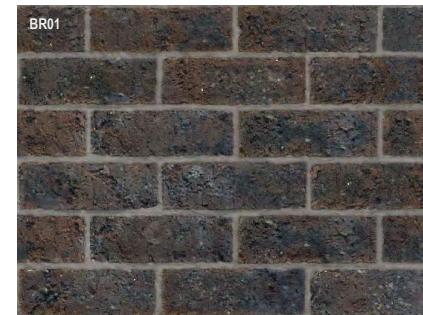
Knotwood AU Aluminum Battens - Norwegian Beech or similar

AL02

Aluminum Balustrade - Dulux Kinetic Gunmetal or similar

JN01

Window Joinery - Dulux Kinetic Gunmetal or similar



PLANNING APPLICATION

AMENDMENTS:

1	14/04/22	PLANNING APPLICATION
2	04/11/22	RFI RESPONSE

AMENDMENT:

2
SCALE:
SHEET: .A5-011

A22

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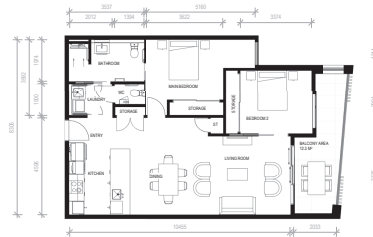
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TYPICAL LAYOUTS

**ILU - TYPICAL 2 BEDROOM - TYPE A**

A1 sheet scale = 1 : 100
A3 sheet scale is twice scale shown above

ILU FLOOR AREA: 81 M²
BALCONY AREA: 7.7 M²
INTERNAL STORAGE: 2.2 M²
TOTAL ILU FLOOR AREA: 89.7 M²

**ILU - TYPICAL 2 BEDROOM - TYPE B**

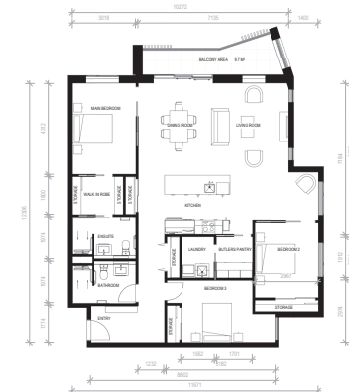
A1 sheet scale = 1 : 100
A3 sheet scale is twice scale shown above

ILU FLOOR AREA: 87.5 M²
BALCONY AREA: 12.3 M²
INTERNAL STORAGE: 2.1 M²
TOTAL ILU FLOOR AREA: 99.8 M²

**ILU - TYPICAL 2 BEDROOM - TYPE C**

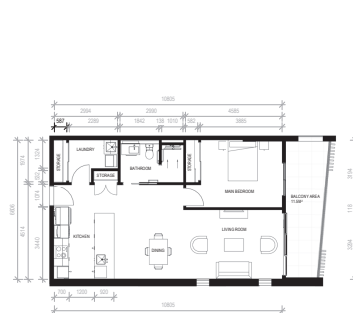
A1 sheet scale = 1 : 100
A3 sheet scale is twice scale shown above

ILU FLOOR AREA: 91 M²
BALCONY AREA: 11.8 M²
INTERNAL STORAGE: 3.5 M²
TOTAL ILU FLOOR AREA: 105.8 M²

**ILU - TYPICAL 3 BEDROOM - TYPE A**

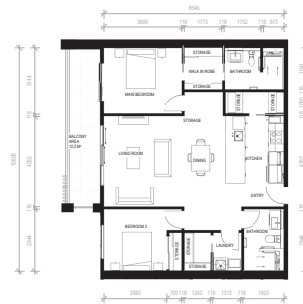
A1 sheet scale = 1 : 100
A3 sheet scale is twice scale shown above

ILU FLOOR AREA: 133.1 M²
BALCONY AREA: 9.7 M²
INTERNAL STORAGE: 7.3 M²
TOTAL ILU FLOOR AREA: 142.8 M²

**ILU - TYPICAL 1 BEDROOM - TYPE A**

A1 sheet scale = 1 : 100
A3 sheet scale is twice scale shown above

ILU FLOOR AREA: 71 M²
BALCONY AREA: 11.5 M²
INTERNAL STORAGE: 3.5 M²
TOTAL ILU FLOOR AREA: 85.9 M²

**ILU - TYPICAL 2 BEDROOM - TYPE D**

A1 sheet scale = 1 : 100
A3 sheet scale is twice scale shown above

ILU FLOOR AREA: 91 M²
BALCONY AREA: 12.3 M²
INTERNAL STORAGE: 6.2 M²
TOTAL ILU FLOOR AREA: 109.2 M²

**ILU - TYPICAL 3 BEDROOM - TYPE B**

A1 sheet scale = 1 : 100
A3 sheet scale is twice scale shown above

ILU FLOOR AREA: 168.9 M²
BALCONY AREA: 52.9 M²
INTERNAL STORAGE: 3.5 M²
TOTAL ILU FLOOR AREA: 221.8 M²



PLANNING APPLICATION

AMENDMENTS:

1 14/04/22 PLANNING APPLICATION
2 04/11/22 RFI RESPONSE

AMENDMENT:

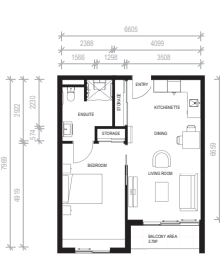
2
SCALE: 1 : 100
SHEET: A7-010

A62

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TYPICAL LAYOUTS



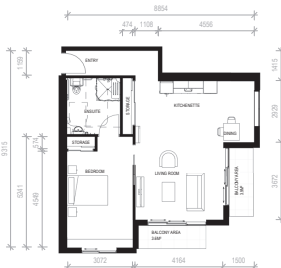
ALS - TYPICAL LAYOUT - TYPE 1
A1 sheet scale = 1 : 100
A3 sheet scale is twice scale shown above

ALS FLOOR AREA: 43.9 M²
BALCONY AREA: 3.7 M²
INTERNAL STORAGE: 1.8 M²
TOTAL ALS FLOOR AREA: 49.4 M²



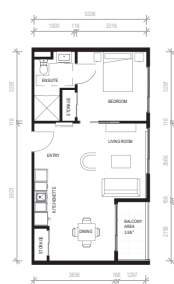
ALS - TYPICAL LAYOUT - PREMIUM
A1 sheet scale = 1 : 100
A3 sheet scale is twice scale shown above

ALS FLOOR AREA: 42.8 M²
BALCONY AREA: 7.2 M²
INTERNAL STORAGE: 1.7 M²
TOTAL ALS FLOOR AREA: 51.7 M²



ALS - TYPICAL LAYOUT - ACC
A1 sheet scale = 1 : 100
A3 sheet scale is twice scale shown above

ALS FLOOR AREA: 59.9 M²
BALCONY AREA: 7.9 M²
INTERNAL STORAGE: 2.3 M²
TOTAL ALS FLOOR AREA: 69.9 M²



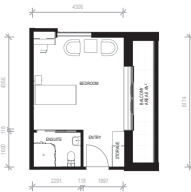
ALS - TYPICAL LAYOUT - HOME CARE
A1 sheet scale = 1 : 100
A3 sheet scale is twice scale shown above

ALS FLOOR AREA: 48.5 M²
BALCONY AREA: 3.9 M²
INTERNAL STORAGE: 2.3 M²
TOTAL ALS FLOOR AREA: 54.8 M²



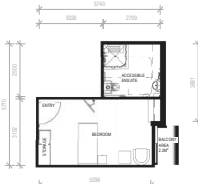
CARE - TYPICAL LAYOUT - TYPE 1
A1 sheet scale = 1 : 100
A3 sheet scale is twice scale shown above

CARE FLOOR AREA: 21.1 M²
BALCONY AREA: 2.2 M²
INTERNAL STORAGE: 1 M²
TOTAL CARE FLOOR AREA: 24.3 M²



CARE - TYPICAL LAYOUT - TYPE 2
A1 sheet scale = 1 : 100
A3 sheet scale is twice scale shown above

CARE FLOOR AREA: 26.8 M²
BALCONY AREA: 6.4 M²
INTERNAL STORAGE: 1 M²
TOTAL CARE FLOOR AREA: 34.2 M²



CARE - TYPICAL LAYOUT - ACC
A1 sheet scale = 1 : 100
A3 sheet scale is twice scale shown above

CARE FLOOR AREA: 24.1 M²
BALCONY AREA: 2.2 M²
INTERNAL STORAGE: 1 M²
TOTAL CARE FLOOR AREA: 27.3 M²



PLANNING APPLICATION

AMENDMENTS:
1 14/04/22 PLANNING APPLICATION
2 04/11/22 RFI RESPONSE

AMENDMENT: 2
SCALE: 1 : 100
SHEET: A7-011

A63

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SHADOW STUDY - SEP 22



SHADOW STUDY - SEP 22, 0900HRS

A1 sheet scale = 1:1000
A3 sheet scale is twice scale shown above



SHADOW STUDY - SEP 22, 1000HRS

A1 sheet scale = 1:1000
A3 sheet scale is twice scale shown above



SHADOW STUDY - SEP 22, 1100HRS

A1 sheet scale = 1:1000
A3 sheet scale is twice scale shown above



SHADOW STUDY - SEP 22, 1300HRS

A1 sheet scale = 1:1000
A3 sheet scale is twice scale shown above



SHADOW STUDY - SEP 22, 1400HRS

A1 sheet scale = 1:1000
A3 sheet scale is twice scale shown above



SHADOW STUDY - SEP 22, 1500HRS

A1 sheet scale = 1:1000
A3 sheet scale is twice scale shown above



LEGEND
 - - - - - PROPERTY BOUNDARIES
 - - - - - MOONEE PONDS CREEK TRAIL
 - - - - - MOONEE POND CREEK

PLANNING APPLICATION

AMENDMENTS:
 1 14/04/22 PLANNING APPLICATION
 2 04/11/22 RFI RESPONSE

AMENDMENT: 2
 SCALE: 1:1000
 SHEET: A8-010

A64

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Tract

1-3 Moreland Road, Essendon

322-0013-01-L-01-RP01

Tract

Level 6, 6 Riverside Quay,
Southbank VIC 3006

(03) 9429 6133
www.tract.com.au

Issued
11 October 2022

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Quality Assurance

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Revisions

Rev	Issued	Details	Prepared By	Reviewed By	Project Principal
01	28 March 2022	Town Planning Submission			
02	15 September 2022	Town Planning Submission			
03	11 October 2022	Town Planning Submission			

Contents

1	Landscape Vision & Design Drivers	03	9	Feature Planting Style	16-17
2	Tree Retention and Removal Plan	04	10	Indigenous Riparian Planting Style	18
3	Landscape Masterplan	05			
4	Landscape Sections	06-11			
5	Planting Themes	12			
6	Material Palette & Precedent Imagery	13			
7	Trees	14-15			
8	Screening/Hedges and Palms	15			

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Landscape Vision

Working with the sites challenging topography, and respecting the local character, the landscape design seeks to celebrate the sites creekline and open space surrounds, melding this with its established garden character.



Design Drivers

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Moonee Ponds Creek Open Space Network

Draw reference to the sites context. Celebrate and draw in the adjacent open spaces to the north and east.

Enhance these interfaces with indigenous and native plant species. Create connections to the shared trail.

Health and Wellbeing

Working with the sites topography create a series of connected and comfortable pedestrian spaces that encourage social interaction at varying scales



Landscape Focus

Utilise robust materials in combination with native/ indigenous and select exotic plant species to create an enduring and memorable landscape.

Use planting to soften and enhance the built forms and green the respective interfaces.



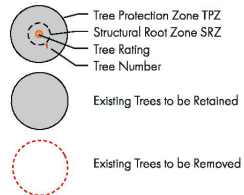
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Landscape Tree Retention & Removal Plan

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LEGEND

Existing Trees

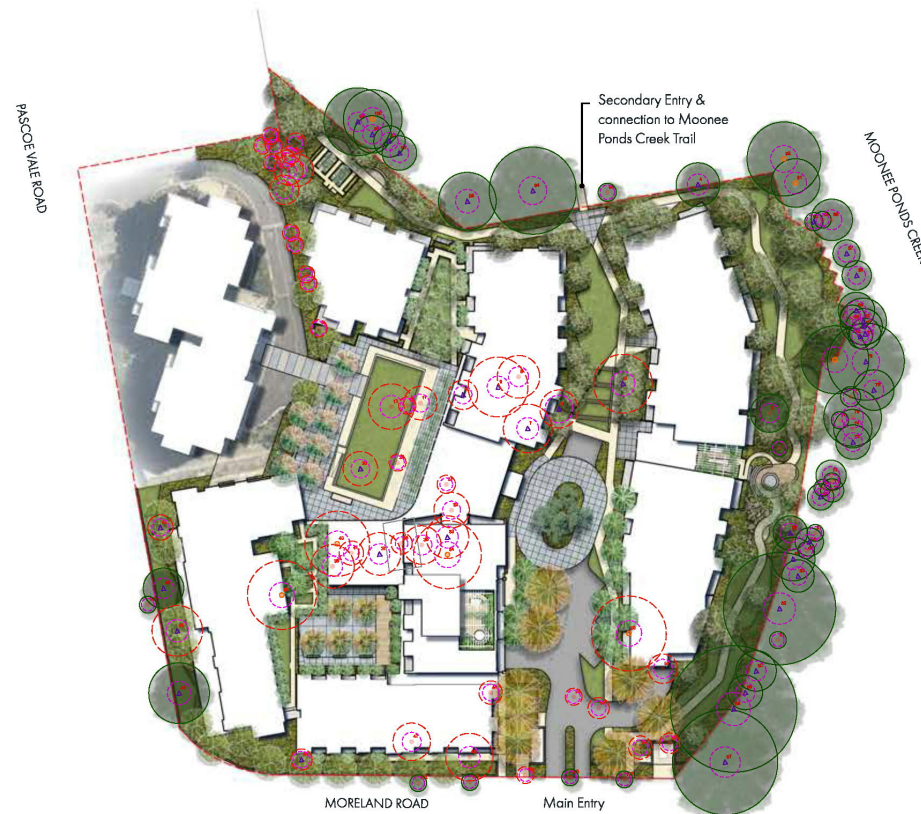


Existing Tree Arboricultural Rating



For further information refer:

Arboricultural Report - 1-3 Moreland Road, Essendon,
16 March 2022. Axiom Tree Management Pty Ltd









Drawing Title	Project Name	Drawing No.	Revision	Date	Drawn	Checked	Project Principal	Scale
Landscape Masterplan	Ryman - Essendon	322-0013-01-L-01-RP01	03	11.10.2022				1:1000 (A3) 0 10 20 50











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Landscape Masterplan

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LEGEND

-  Existing trees to be retained
Refer arborist report for further information
-  Avenue / Entry Trees
-  Piazza Trees
-  Courtyard & Garden Trees
-  Arrival / Feature Tree
-  Creek / Open Space Trees

-  Feature Planting
-  Native/ Indigenous Planting
-  Kitchen Garden
-  Turf
-  Pergola / Arbor
-  Seating Node
-  Banded Concrete
-  Feature Exposed Aggregate Concrete
-  Timber / Composite Timber Decking
-  Piazza Paving unit/Exposed Aggregate



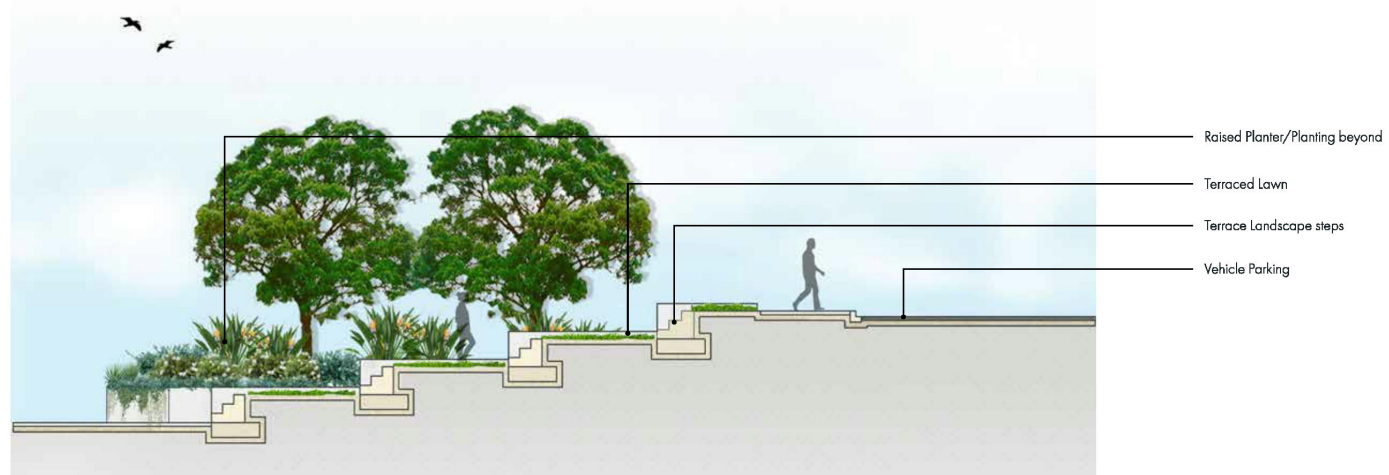
Drawing Title	Project Name	Drawing No.	Revision	Date	Drawn	Checked	Project Principal	Scale
Landscape Masterplan	Ryman - Essendon	322-0013-01-L-01-RP01	03	28.10.2022				1:1000 (A3) 0 10 20 50

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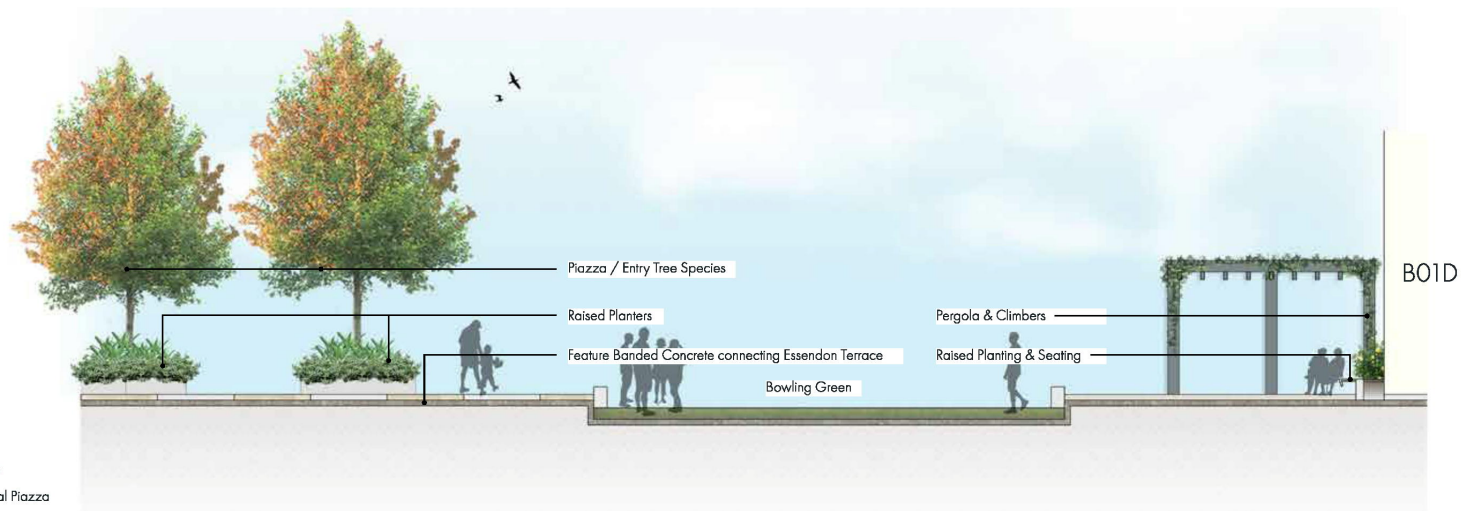
Landscape Sections

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SECTION A-A
Through Terraced Lawn



SECTION B-B
Through Central Piazza



Drawing Title	Project Name	Drawing No.	Revision	Date	Drawn	Checked	Project Principal	Scale
Landscape Sections	Ryman - Essendon	322-0013-01-L-01-RP01	03	11.10.2022				1:100 (A3) 0 1 2 3

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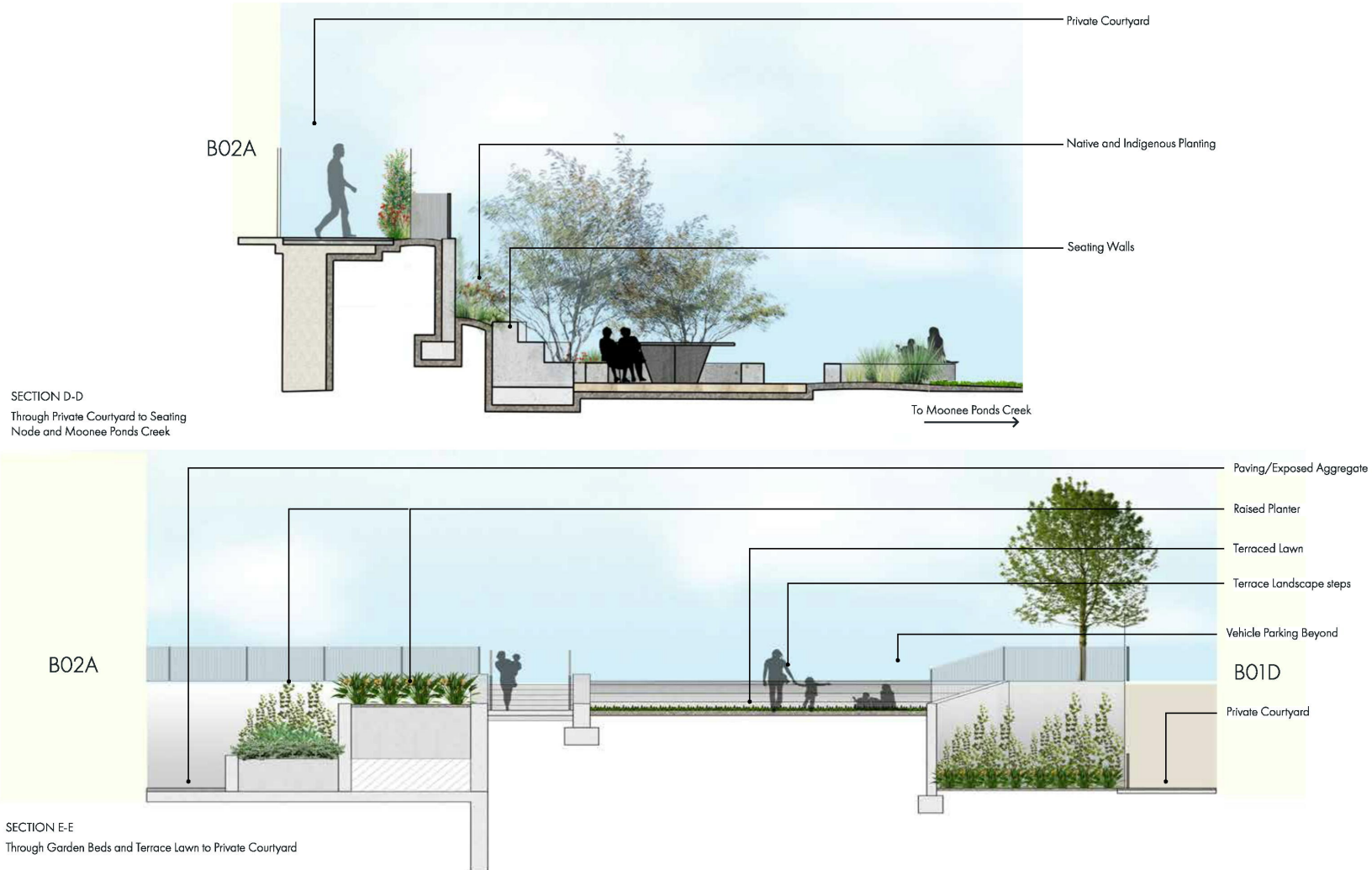
SECTION C-C
Through Upper BBQ/ Dining Node to Moonee Ponds Creek

Drawing Title	Project Name	Drawing No.	Revision	Date	Drawn	Checked	Project Principal	Scale
Landscape Sections	Ryman Essendon	322-0013-01-L-01-RP01	03	11.10.2022				1:100 (A3) 0 1 2 3

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Drawing Title	Project Name	Drawing No.	Revision	Date	Drawn	Checked	Project Principal	Scale
Landscape Sections	Ryman Essendon	322-0013-01-L-01-RP01	03	11.10.2022				1:100 (A3) 0 1 2 3

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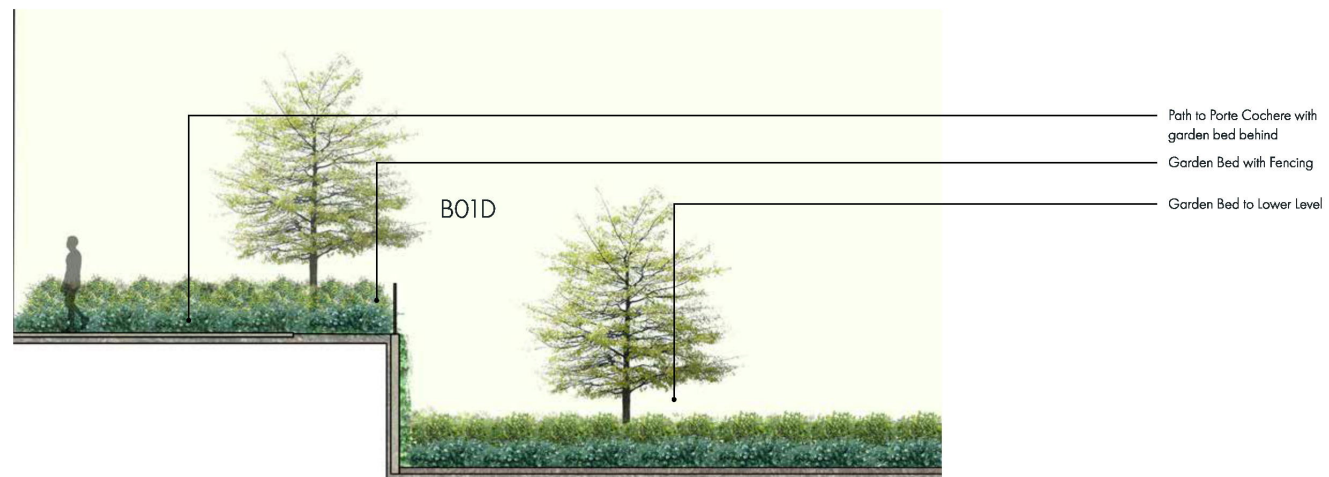
Landscape Sections

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SECTION F-F
Through Raised Planters in front of B02B



SECTION G-G
Through Garden Beds in front of to B01D



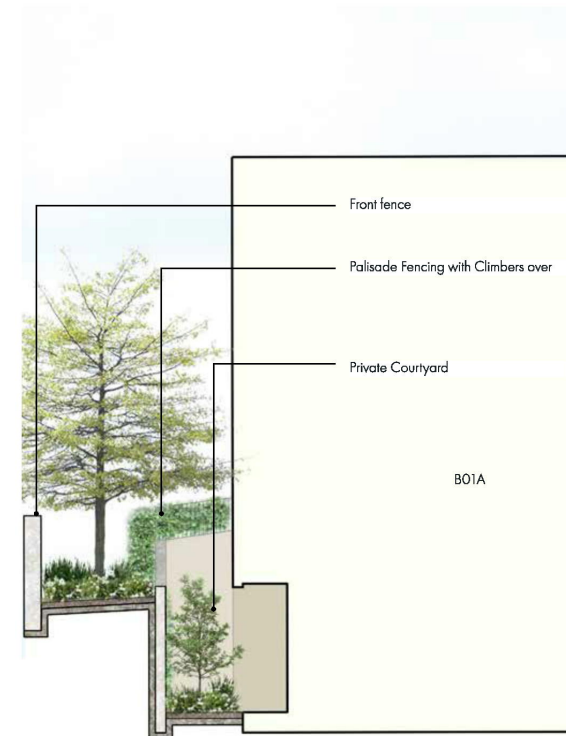
Drawing Title	Project Name	Drawing No.	Revision	Date	Drawn	Checked	Project Principal	Scale
Landscape Sections	Ryman - Essendon	322-0013-01-L-01-RP01	03	11.10.2022				1:100 (A3)



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SECTION H-H
Through driveway and Garden Beds in front of B02A

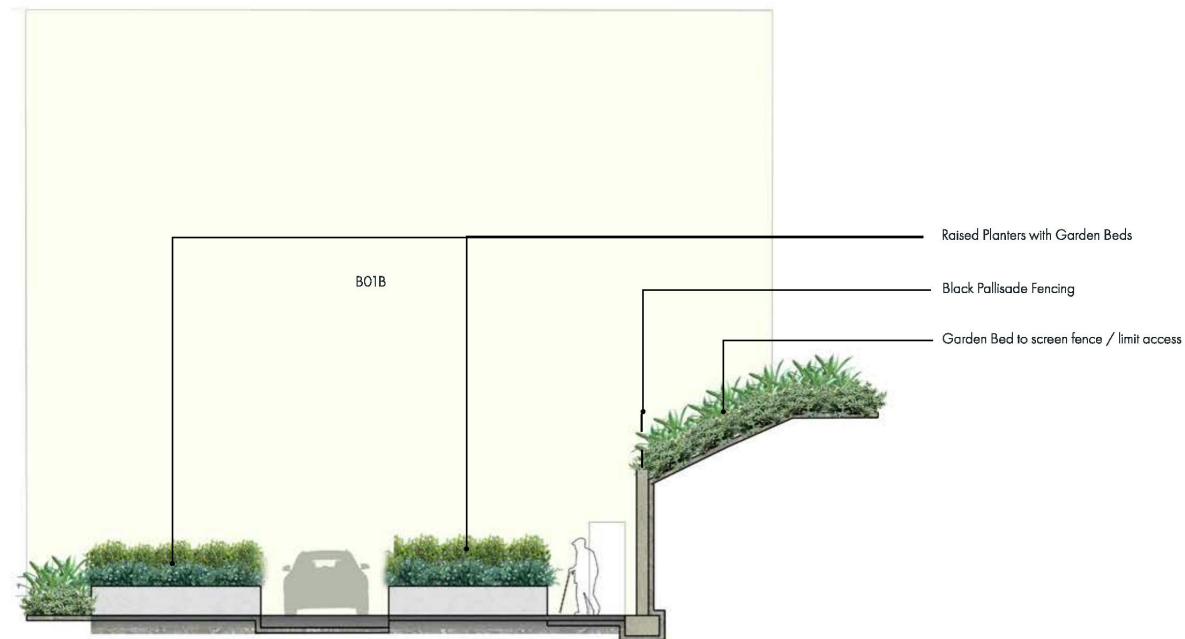
SECTION I-I
Through Front Garden Beds to Lower
Ground Private Courtyards

Drawing Title	Project Name	Drawing No.	Revision	Date	Drawn	Checked	Project Principal	Scale
Landscape Sections	Ryman - Essendon	322-0013-01-L-01-RP01	03	11.10.2022				1:100 (A3) 0 1 2 3

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Landscape Sections

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SECTION J-J
Through retaining wall spanning b03 and B01B

Drawing Title	Project Name	Drawing No.	Revision	Date	Drawn	Checked	Project Principal	Scale
Landscape Sections	Ryman - Essendon	322-0013-01-L-01-RP01	03	11.10.2022				1:100 (A3) 0 1 2 3

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Planning Themes

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LEGEND

 Native & Indigenous Planting

 Feature Planting Style
strongly native theme featuring key exotic
species for function and to provide accents



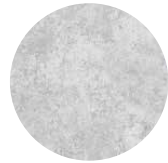
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Materials palette

Inspired by nature, proposed materials are simple, clean, robust and authentic.

Low key exposed aggregate concrete paths reminiscent of winding gravel tracks, give way to more formal paved, concrete and exposed aggregate finishes.

Elsewhere feature paving and decking elevates key areas to signify key nodes, connections and meeting spaces.



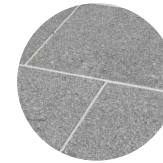
Plain Concrete



Exposed Aggregate Coloured Concrete with Paving Bonds



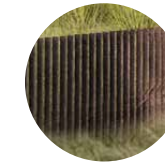
Exposed Aggregate Coloured Concrete



Feature Unit Paving



Insitu Concrete Seating Wall



Fences to open space interfaces - recessive and permeable

Precedent Imagery



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Planning Palette - Tree Species

* Species and quantities are indicative only and subject to changes during detailed design

MASTER PLANTING SCHEDULE					
TREES	BOTANIC NAME	COMMON NAME	EVC No.	INSTALL SIZE	PLANTING DENSITY
PASCOE VALE & MORELAND ROAD FRONTAGES					
	Fraxinus 'Cinnamom'	Cinnamom Ash		45L	
	Lagerstroemia indica x L. lauriei 'Biloxi'	Indian Summer Crepe Myrtle		45L	
	Ulmus parvifolia	Chinese Elm		45L	
	Waterhousea floribunda 'Whisper'	Weeping Lillypilly		45L	
	Zelkova serrata	Japanese Zelkova		45L	
					As shown
					13 x 8m
					7 x 5m
					15 x 8m
					8 x 5m
					14 x 10m
AVENUE & ENTRY TREES					
	Acer negundo 'Sensation'	Box Elder Maple - Sensation		45L	
	Fraxinus 'Cinnamom'	Cinnamom Ash		45L	
	Lagerstroemia indica x L. lauriei 'Biloxi'	Indian Summer Crepe Myrtle		45L	
	Ulmus parvifolia	Chinese Elm		45L	
	Zelkova serrata	Japanese Zelkova		45L	
					As shown
					9 x 6m
					13 x 8m
					7 x 5m
					15 x 8m
					14 x 10m
PIAZZA TREES					
	Acer x freemanii 'Jeffersred'	Autumn Blaze		45L	
	Angophora costata	Smooth Barked Apple Myrtle		45L	
	Cercis canadensis 'Forest Pansy'	Forest Pansy		45L	
	Lagerstroemia indica x L. lauriei 'Biloxi'	Indian Summer Crepe Myrtle		45L	
	Parrotia persica	Persian Ironwood		45L	
	Zelkova serrata	Japanese Zelkova		45L	
					As shown
					12 x 10m
					20 x 10m
					5 x 5m
					7 x 5m
					7 x 5m
					14 x 10m
COURTYARD & GARDEN TREES					
	Acer palmatum	Japanese Maple		45L	
	Cercis canadensis 'Forest Pansy'	Forest Pansy		45L	
	Lagerstroemia indica x L. lauriei 'Biloxi'	Indian Summer Crepe Myrtle		45L	
	Corymbia citriodora 'Scentuosus'	Dwarf Lemon Scented Gum		45L	
	Zelkova serrata	Japanese Zelkova		45L	
					As shown
					7 x 5m
					9 x 5m
					7 x 5m
					14 x 10m
ORNAMENTAL ROOFTOP					
	Corymbia citriodora 'Scentuosus'	Dwarf Lemon Scented Gum		45L	
					As shown
					7 x 3m
ROOFTOP FUNCTION AREA					
	Olea europaea 'Swan Hill'	Swan Hill Olive		45L	
					As shown
					8 x 6m
ARRIVAL FEATURE TREE					
	Angophora costata	Smooth Barked Apple Myrtle		45L	
	Corymbia citriodora	Lemon Scented Gum		45L	
					As shown
					20 x 10m
					20 x 12m
CREEK & OPEN SPACE TREES					
	Acacia retinoides var. retinoides	Wirrida	EVC 68	45L	
	Acacia pyramtha	Golden Wattle	EVC 68	45L	
	Allocasuarina verticillata	Drooping Sheoak		45L	
	Banksia marginata	Silver Banksia		45L	
	Eucalyptus tetrica	Red Ironbark		45L	
	Eucalyptus leucocylon	Yellow Gum		45L	
					As shown
					5 x 6m
					3 x 4m
					9 x 5m
					5 x 3m
					25 x 15m
					10 x 7m

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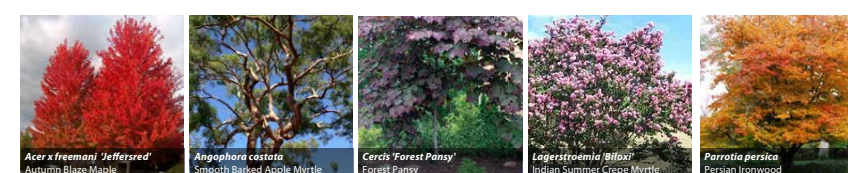
Pascoe Vale and Moreland Road Trees



Avenue and Entry Trees



Piazza Trees



Courtyard and Garden Trees



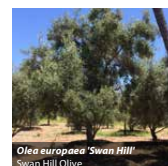
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Planning Palette - Tree & Screen/Hedging Species

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Rooftop Function Area Trees

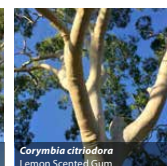


Olea europaea 'Swan Hill'
Swan Hill Olive

Arrival Feature Trees



Angophora costata
Smooth Barked Apple Myrtle



Corymbia citriodora
Lemon Scented Gum

Creek and Open Space Trees



Acacia retinoides var. *retinoides*
Winilda



Acacia pycnantha
Golden Wattle



Allocasuarina verticillata
Drooping Sheoke



Banksia marginata
Silver Banksia



Eucalyptus tricarpa
Red Ironbark



Eucalyptus leucoxylon
Yellow Gum

Screen & Hedging



Magnolia grandiflora 'Teddy Bear'
Teddy Bear Magnolia



Metrosideros collina 'Velvet Sky'
Velvet Sky™ Metrosideros



Syzygium australe 'AATS' PBR
Pinnacle™
Pinnacle Lilly Pilly



Syzygium australe 'Hinterland Gold'
Hinterland Gold Lilly Pilly

SCREENING & HEDGING			
<i>Magnolia grandiflora</i> 'Teddy Bear'	Teddy Bear Magnolia	200mm	4 x 3m
<i>Metrosideros collina</i> 'Velvet Sky'	Velvet Sky™ Metrosideros	200mm	4 x 3m
<i>Syzygium australe</i> 'AATS' PBR Pinnacle™	Pinnacle Lilly Pilly	200mm	6 x 2m
<i>Syzygium australe</i> 'Hinterland Gold'	Hinterland Gold Lilly Pilly	200mm	6 x 3m

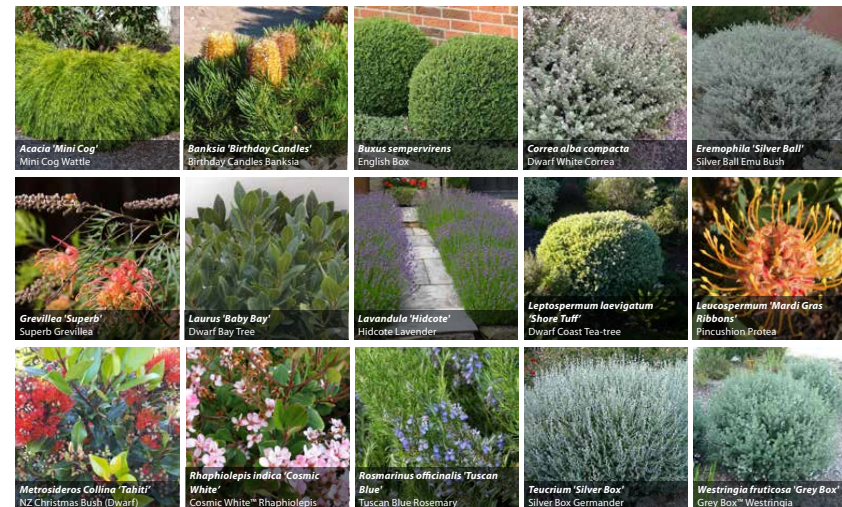
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Planning Palette - Feature Planting Style

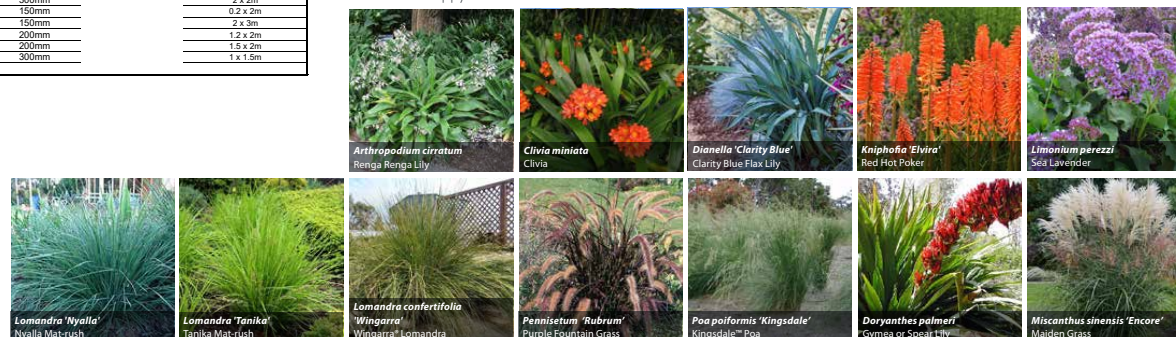
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FEATURE PLANTING STYLE					
BOTANIC NAME	COMMON NAME	INSTALL SIZE	PLANTING DENSITY	MATURE SIZE (HXW)	
SMALL & MEDIUM SHRUBS					
Acacia Mini Cog	Mini Cog Wattle	150mm	4 m2 Average	0.5 x 1m	
Banksia 'Birthday Candles'	Birthday Candles Banksia	150mm		0.5 x 1m	
Buxus sempervirens	English Box	150mm		2 x 1.5m	
Correa alba compacta	Dwarf White Correa	150mm		0.3 x 0.8m	
Eremophila glabra 'Silver Ball'	Silver Ball Emu Bush	150mm		0.7 x 0.7m	
Grevillea 'Superb'	Superb Grevillea	150mm		1.5 x 2m	
Laurus nobilis 'Baby Bay'	Dwarf Bay Tree	150mm		2 x 2m	
Lavandula 'Hidcote'	Hidcote Lavender	150mm		0.8 x 0.6m	
Leptospermum laevigatum 'Shore Tuff'	Dwarf Coast Tea-tree	150mm		0.5 x 1.2m	
Leucospermum 'Mardi Gras Ribbons'	Pincushion Protea	150mm		2.5 x 1.5m	
Metrosideros Collina 'Tahiti'	NZ Christmas Bush (Dwarf)	150mm		1 x 1m	
Rhaphiolepis indica 'Cosmic White'	Cosmic White™ Rhaphiolepis	150mm		1.5 x 1.5m	
Rosmarinus officinalis 'Tuscan Blue'	Tuscan Blue Rosemary	150mm		1.5 x 1.5m	
Teucrium 'Silver Box'	Silver Box Germander	150mm		1 x 0.6m	
Westringia fruticosa 'Grey Box'	Grey Box™ Westringia	150mm		0.4 x 0.4m	
GRASSES & STRAPPY LEAVES					
Anthropodium cirratum	Renga Renga Lily	150mm	4 m2 Average	0.6 x 0.6m	
Clivia miniata	Kaffir Lily	150mm		0.6 x 0.6m	
Dianella 'Clarity Blue'	Clarity Blue Flax-Lily	150mm		0.4 x 0.4m	
Kniphofia 'Elvira'	Red Hot Poker	150mm		0.5 x 0.5m	
Limnium perezii	Sea Lavender	150mm		0.3 x 0.3m	
Lomandra 'Nyalia'	Nyalia Mat-rush	150mm		0.8 x 0.8m	
Lomandra 'Tanika'	Tanika Mat-rush	150mm		0.5 x 0.5m	
Lomandra confertifolia 'Wingarra'	Wingarra® Lomandra	150mm		0.3 x 0.3m	
Pennisetum x advena 'Rubrum'	Purple Fountain Grass	150mm		0.9 x 0.3m	
Poa poliformis 'Kingsdale'	Kingsdale™ Poa	150mm		0.4 x 0.4m	
Doryanthes palmeri	Gymea Lily	150mm		2 x 2m	
Miscanthus sinensis 'Encore'	Maiden Grass	150mm		1.2 x 1m	
GROUND COVER SPECIES					
Carpobrotus rossi	Karkalla	150mm		4 m2 Average	0.2 x 3m
Casuarina glauca 'Cousin It'	Cousin It Sheoak	150mm			0.2 x 2.0m
Eremophila 'Kalbarri Carpet'	Emu Bush	150mm			0.2 x 1.5m
Mycoporum parvifolium	Creeping Boobialla	150mm	0.2 x 3m		
Rosmarinus officinalis 'Blue Lagoon'	Blue Lagoon Rosemary	150mm	0.5 x 2m		
Trachelospermum asiaticum 'Flit Mat'	Flit Mat Jasmine	150mm	0.5 x 3m		
CYCADS, SUCCULENT & FEATURE SPECIES					
Agave attenuata	Foxtail Agave	150mm	4 m2 Average	1 x 3m	
Agave gnomifolia	Twin Flowered Agave	150mm		1 x 1m	
Aloe picatilis	Fan Aloe	150mm		1.5 x 1.5m	
Aloe 'Mighty Sunset'	Mighty Sunset Aloe	150mm		0.6 x 0.5m	
Aloe 'Mighty Gold'	Mighty Gold Aloe	150mm		0.3 x 0.3m	
Colydena orbiculata 'Silver'	Silver Leaved Pig's Ears	150mm		0.3 x 0.7m	
Cycas revoluta	Sago Palm	300mm		2 x 2m	
Diaphyma crassifolium ssp. clavellatum	Rounded Noon-flower	150mm		0.2 x 2m	
Furcraea foetida	Mauritius Hemp	150mm		2 x 3m	
Strelitzia juncea	Rush Leaf Bird of Paradise	200mm		1.2 x 2m	
Strelitzia reginae	Bird of Paradise	200mm	1.5 x 2m		
Zamia furfuracea	Cardboard Palm	300mm	1 x 1.5m		

Small & Medium Shrubs



Grasses & Strappy Leaves



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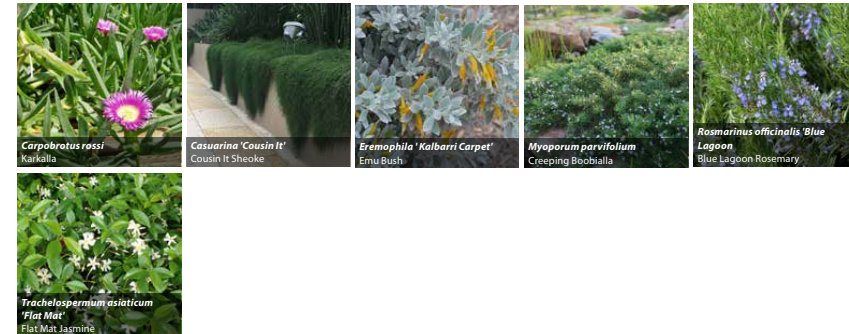
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Planning Palette - Feature Planting Style (cont)

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Groundcover



Cycads, Succulents and Feature Species



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Planning Palette - Indigenous Riparian Planting

* Species and quantities are indicative only and subject to changes during detailed design

INDIGENOUS RIPARIAN PLANTING				
BOTANIC NAME	COMMON NAME	INSTALL SIZE	PLANTING DENSITY	MATURE SIZE (HxW)
<i>Acacia retinoides</i> var. <i>retinoides</i>	Willda	EVC 68	200cc Tubes	4 x 5m
<i>Acacia pyrantha</i>	Golden Wattle	EVC 68	200cc Tubes	6 x 4m
<i>Acacia echinata</i>	Sheep's Burr	EVC 68	200cc Tubes	0.5 x 0.5m
<i>Austrodanthonia coespitosa</i>	Common Wallaby Grass	EVC 68	200cc Tubes	0.5 x 0.5m
<i>Austrodanthonia racemosa</i> var. <i>racemosa</i>	Striped Wallaby Grass	EVC 68	200cc Tubes	0.3 x 0.3m
<i>Austrostipa bigeniculata</i>	Knead Spear Grass	EVC 68	200cc Tubes	0.4 x 0.4m
<i>Austroloma humifusum</i>	Cranberry Heath	EVC 55	200cc Tubes	0.5 x 1.5m
<i>Bosslaea prostrata</i>	Creeping Bossiaea	EVC 55	200cc Tubes	0.1 x 0.5m
<i>Caesia caliantha</i>	Blue Grass Lily	EVC 55	200cc Tubes	0.6 x 0.5m
<i>Carex appressa</i>	Tall Sedge	EVC 68	200cc Tubes	1.5 x 1.0m
<i>Convolvulus erubescens</i>	Pink Bindweed	EVC 55	200cc Tubes	0.1 x 2m
<i>Enchylaena tomentosa</i>	Ruby Saltbush	EVC 68	200cc Tubes	0.7 x 1.0m
<i>Gonocarpus tetragynus</i>	Common Raspwort	EVC 68	200cc Tubes	0.3 x 0.4m
<i>Hymenanthera dentata</i>	Tree Violet	EVC 68	200cc Tubes	2 x 3m
<i>Hypericum gramineum</i>	Small St John's Wort	EVC 55	200cc Tubes	0.4 x 0.2m
<i>Lachnagrostis filiformis</i> var. <i>filiformis</i>	Common Blown Grass	EVC 641	200cc Tubes	0.8 x 0.5m
<i>Leptorhynchus squamatus</i>	Scaly Buttons	EVC 55	200cc Tubes	0.3 x 0.3m
<i>Melaleuca decussata</i>	Totem Poles	EVC 641	200cc Tubes	2.0 x 2.0m
<i>Pimelia humilis</i>	Common Rice-flower	EVC 55	200cc Tubes	0.5 x 1m
<i>Poa labillardieri</i>	Common Tussock-grass	EVC 68	200cc Tubes	0.6 x 0.6m
<i>Themeda triandra</i>	Kangaroo Grass	EVC 55	200cc Tubes	0.4 x 0.7m
<i>Thysanotus paterosonia</i>	Twinning Fringe Lily	EVC 55	200cc Tubes	0.8 x 0.2m
<i>Tricoryne elatior</i>	Yellow Rush Lily	EVC 55	200cc Tubes	0.5 x 0.5m

Indigenous Plant Species



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